

- plywood/Masonite (etc.) on the floor of the elevator and corridors will be required.
- 1-4** The height of the deck above the 2nd floor is 15'-2" aff.
 - 1-5** Contractor parking and staging area will be allowed on the old Casso property immediately adjacent and south of the building.
 - 1-6** The only items that shall be salvaged from the project and returned to STC are the door hardware and marker boards.
 - 1-7** All floor outlet boxes are to be removed according to all current codes, all wiring removed and the resultant opening filled with non-shrink grout as per keyed note 9 on detail D1/D2.00.
 - 1-8** Plastic Signage with room name and number shall be provided for all rooms as per STC Standards-STC will provide signage schedule. See attached signage schedule.
 - 1-9** Acceptable metal stud manufacturers include: Clark Dietrich 24 ga c-channel metal studs or equal.
 - 1-10** Acceptable gyp bd manufacturers include: US Gypsum, Georgia Pacific.
 - 1-11** Acceptable sound attenuating batt insulation manufacturers include: Owens Corning EcoTouch 3 1/2" thick with no paper face (friction fit) or equal.
 - 1-12** No work will be performed during the Winter Break from December 17th, 2019 to January 1, 2020.
 - 1-13** All interior paint shall be Sherwin Williams Pro-Mar 200.
 - 1-15** Testing and balancing as well as duct leakage of HVAC system will be required only in the renovated area.
 - 1-16** Acceptable 2'x2'x5' stainless steel wall guard manufacturers include: WallGuardian, Rockwood, or equal.
 - 1-17** The fire extinguisher cabinet shall be a JL Ambassador 1017F10 semi-recessed 10lb fire extinguisher cabinet and extinguisher, or equal.
 - 1-18** Acceptable storefront manufacturers include; OldCastle, Kawneer, US Aluminum and Vistawall. (for storefront systems labeled W1 and W2 only)
 - 1-19** Acceptable manufacturers for 1/4" tempered storefront glazing include: Viracon, PPG, or equal.
 - 1-20** Disregard the reference to the door 108 called out in the hardware specification. There is no door 108.
 - 1-21** STC will not be providing attic stock for VCT to match existing corridor VCT. Provide a full range of colors from Johnsonite-Azrock or Equal to select from - new VCT to match existing VCT.
 - 1-22** A construction trailer is not required by STC.
 - 1-23** Replace specification manual table of contents with attached specification table of contents.

Architectural:

1-24 Sheet D2.00

Detail A1 Demolition Floor Plan

-Delete keyed note 4 adjacent to the central stairwell.

Detail D1 Demolition Keyed Notes:

-Add keyed note 10- not used

-Add keyed note 11- existing electrical panel box to be removed.
All wiring in panel box shall be removed as per all codes. See
MEP.

1-25 Sheet A2.00

Detail A1 Floor Plan

-North wall of Storage Room 104 shall be a wall type 3.
-Walls at the main entrance shall be similar to wall type 3.
However, the walls are to be detailed as shown on detail A4/A2.10,
D1/A2.20. The furrdown does not go to deck. However, there is a
wall above the furrdown that goes to deck.

Detail A4 Wall Types

-All references to wall insulation shall be changed to read- 3 ½”
thick friction fit sound attenuating fiberglass batts with no paper
face.
-Acoustical sealant shall be located at the base of all wall types.
-Acoustical sealant shall be added at the top of all type 1 and 2
walls.

Detail D4 General Notes

-Delete general note J- shall become “Not Used”

1-26 Sheet A2.10

Detail D2 Room Finish Schedule

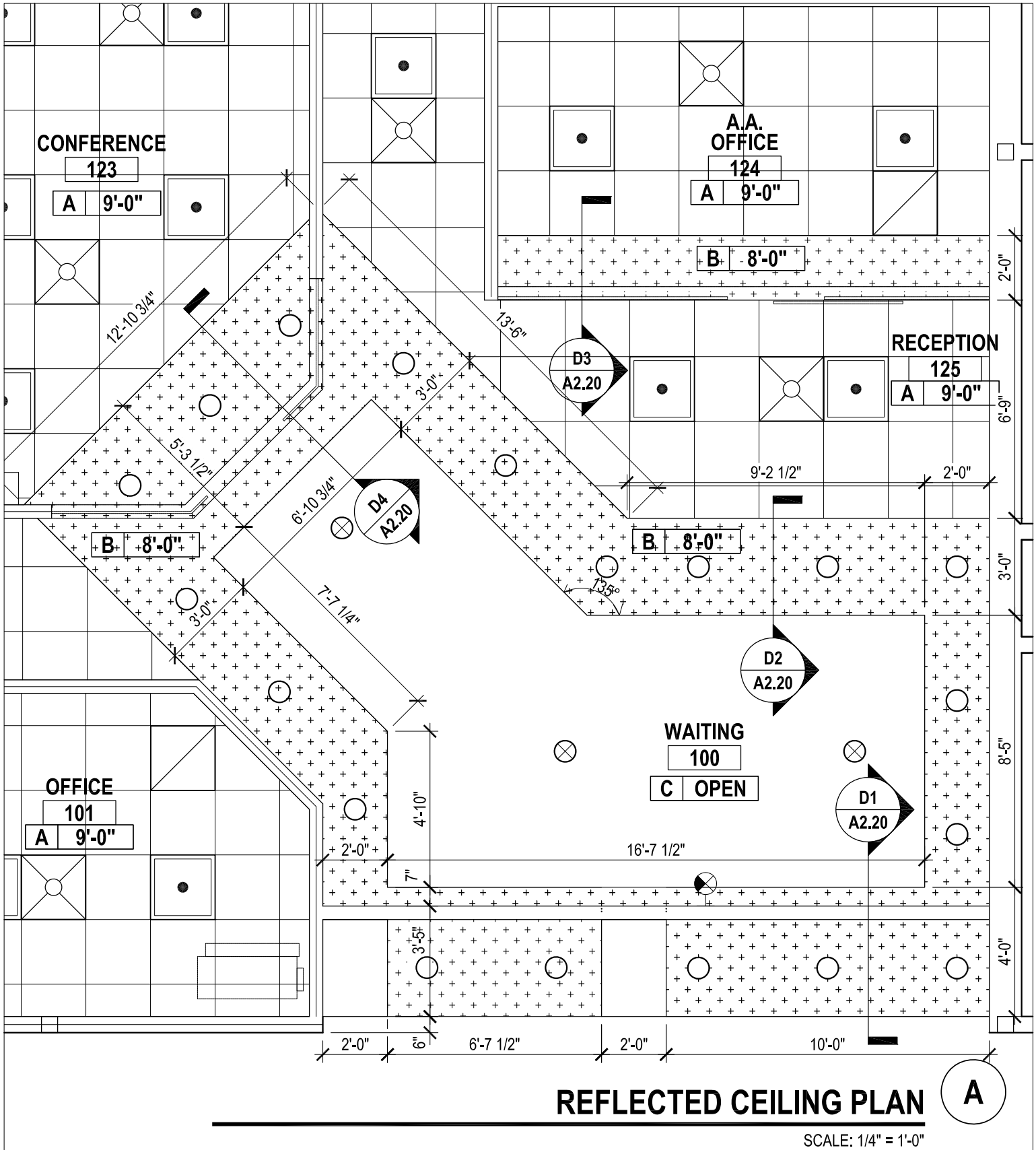
-Delete CTR-2

1-27 Sheet A2.20

Detail A4/A2.20 Ceiling Legend, General Notes

-Replace tegular edge ceiling of Ceiling Type A with square edge
tile
-Replace reflected ceiling plan lighting layout with attachment
ADD1-1.

End of STC Building M Office and Workspace Renovation Addendum #1



REFLECTED CEILING PLAN

A

SCALE: 1/4" = 1'-0"

THESE DRAWINGS AND SPECIFICATIONS ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THEY MAY NOT BE REUSED, REPRODUCED OR ALTERED IN ANY WAY WITHOUT PRIOR WRITTEN APPROVAL FROM AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

Boultinghouse Simpson Gates ARCHITECTS

3301 N McCOLL RD | McALLEN, TX 78501 | P 956.630.9494

SHEET TITLE
REFLECTED CEILING PLAN

PROJECT NAME
PECAN CAMPUS BLDG OFFICE & WORK SPACE RENOV. PROJECT #19-20-1010

OWNER
SOUTH TEXAS COLLEGE

PROJECT ADDRESS
3200 W. PECAN BOULEVARD, McALLEN, TEXAS

PROJECT NO
1904

ISSUE DATE
SEPTEMBER 03 2019

SHEET NUMBER
ADD. 1-1

SIGNAGE SCHEDULE

ROOM NO. ON DRWGS.	ROOM NAME ON DRAWINGS	ROOM NAME FOR SIGNAGE	ROOM NO. FOR SIGNAGE
100	WAITING	RECEPTION	M210
101	OFFICE	OFFICE	M210V
102	OFFICE	OFFICE	M201U
104	STORAGE	STORAGE	M210S
105	OFFICE	OFFICE	M210R
106	OFFICE	OFFICE	M210Q
107	OFFICE	OFFICE	M210P
109	OFFICE	OFFICE	M210T
110	OFFICE	OFFICE	M210N
111	OFFICE	OFFICE	M210M
112	OFFICE	OFFICE	M210L
113	BREAK ROOM	WORKROOM	M210K
114	OFFICE	OFFICE	M210J
116	OFFICE	OFFICE	M210H
117	OFFICE	OFFICE	M210F
118	OFFICE	OFFICE	M210G
119	DIRECTOR OFFICE	OFFICE	M210E
120	DIRECTOR OFFICE	OFFICE	M210D
121	DIRECTOR OFFICE	OFFICE	M210C
122	CORRIDOR	CORRIDOR	M211
123	CONFERENCE	CONFERENCE	M210B
124	A.A. OFFICE	OFFICE	M210A

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 - 1.3 STC Contacts
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 - 1.6 Inquiries and Interpretations
 - 1.7 Public Information
 - 1.8 Contract Award Process
 - 1.9 Criteria for Selection
 - 1.10 Key Events Schedule
- 2 Proposal Requirements**
 - 2.1 General Instructions
 - 2.2 Preparation and Submittal Instructions
 - 2.3 Pricing and Delivery Schedule
 - 2.4 Bonding
 - 2.5 Submittal Checklist
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- 4. Pricing and Delivery Schedule**
- 5. Bid/Proposal Form**
- 6. Respondent Questionnaire**
- 7. Notification of Criminal History**
- 8. Conflict of Interest Questionnaire**

ATTACHMENTS:

AIA Document A101-2017 STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR

AIA Document A201-2007 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION

SUPPLEMENTAL GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201 – 2007

9. SPECIFICATIONS

DIVISION 1 – GENERAL REQUIREMENTS

010000	GENERAL REQUIREMENTS
011000	SUMMARY
012200	UNIT PRICES
012500	SUBSTITUTION PROCEDURES
012600	CONTRACT MODIFICATION PROCEDURES
012900	PAYMENT PROCEDURES
013100	PROJECT MANAGEMENT AND COORDINATION
013200	CONSTRUCTION PROGRESS DOCUMENTATION
013233	PHOTOGRAPHIC DOCUMENTATION
013300	SUBMITTAL PROCEDURES
014000	QUALITY REQUIREMENTS
015000	TEMPORARY FACILITIES AND CONTROLS
016000	PRODUCT REQUIREMENTS
017300	EXECUTION
017700	CLOSEOUT PROCEDURES
017823	OPERATION AND MAINTENANCE DATA
017839	PROJECT RECORD DOCUMENTS
017900	DEMONSTRATION AND TRAINING

DIVISION 2 – EXISTING CONDITIONS - **NOT USED**

DIVISION 3 – CONCRETE - **NOT USED**

DIVISION 4 – MASONRY - **NOT USED**

DIVISION 5 – METALS - **NOT USED**

DIVISION 6 – WOOD, PLASTICS, COMPOSITES - **NOT USED**

DIVISION 7 – THERMAL & MOISTURE PROTECTION - **NOT USED**

DIVISION 8 - DOORS AND WINDOWS

08 11 13	Doors and Frames
08 71 00	Door Hardware

DIVISION 9 – FINISHES - **NOT USED**

DIVISION 10 – SPECIALTIES - **NOT USED**

DIVISION 11 – EQUIPMENT - **NOT USED**

DIVISION 12 – 20 – NOT APPLICABLE

DIVISION 21, 22, 23 & 26 - SEE ETHOS ENGINEERING'S
MEP SPECIFICATIONS AS FOLLOWS.