

CITY OF EDCOUCH  
EDCOUCH CITY / SCHOOL COMMUNITY PARK  
HIDALGO COUNTY, TEXAS  
TPWD - PCT #1  
URBAN COUNTY PROJECT NO. 5017-20-0306-5000-2000-UCP-ML

CITY COUNCIL MEMBER

MAYOR	VIRGINIO GONZALEZ JR.
MAYOR PRO-TEMP	DANIEL A. GUZMAN
ALDERMAN PL1	RENE A. FLORES
ALDERMAN PL2	JOEL SEGURA
ALDERMAN PL3	FRED BORREGO JR.
ALDERMAN PL5	LORENZO (LENCHO) CABRERA
INTERIM CITY MANAGER	PETE DE LA CRUZ

FINAL PLAN DATA

FINAL PLAN DATA:  
CONTRACTORS NAME:  
CONTRACTORS ADDRESS:  
LETTING DATE:  
DATE WORK BEGAN:  
DATE WORK COMPLETED:  
DATE OF ACCEPTANCE:

GENERAL NOTES:

- IF CULTURE MATERIALS ARE ENCOUNTERED DURING CONSTRUCTION. WORK SHALL CEASE IN THE IMMEDIATE AREA AND THE CONTRACTOR SHALL NOTIFY THE OWNER OR ENGINEER. THE OWNER OR ENGINEER SHALL CONTACT THE SECRETARY OF THE INTERIOR, (202-343-4104) IN ACCORDANCE WITH 36 CFR800. THE STATE HISTORIC PRESERVATION OFFICER (512-463-6069) SHALL ALSO BE NOTIFIED.
- ALL CONSTRUCTION STAKING TO BE PERFORMED BY ENGINEERED. CONTRACTOR TO VERIFY ALIGNMENT OF CONSTRUCTION STAKING WITH CITY OFFICIALS BEFORE COMMENCING CONSTRUCTION. DOCUMENTATION OF MEETING WITH DESIGNATED CITY OFFICIALS TO BE SUBMITTED TO ENGINEER BEFORE COMMENCING CONSTRUCTION.
- THE LOCATION AND SIZES OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM. LOCATE AND PROTECT ALL UNDERGROUND UTILITIES IN THE AREA AS HE/SHE PROCEEDS WITH WORK ARE THE CONTRACTOR'S EXPENSE.
- ALL SOILS ARE UNCLASSIFIED SOILS INCLUDING ROCK OR OTHER MATERIAL NO SPECIAL PAYMENT WILL BE MADE TO THE CONTRACTOR FOR UNFORESEEN UNCLASSIFIED SOILS ENCOUNTERED. NO SPECIAL PROVISIONS ARE BEING MADE FOR UNCLASSIFIED SOILS.

CITY OF EDCOUCH  
CONCURRENCE:

DATE:

NAME	TITLE
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HIDALGO COUNTY  
URBAN COUNTY PROGRAM:

NAME	TITLE
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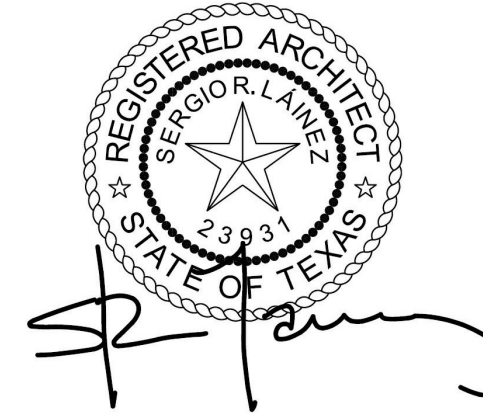
CONSULTANT:

NO. 5017-20-0306-  
5000-2000-UCP-ML

EDCOUCH CITY /  
SCHOOL  
COMMUNITY PARK

CLIENT:  
CITY OF EDCOUCH

211 W. SOUTHERN AVE.  
EDCOUCH, TX 78538



04/26/2019

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DO NOT scale drawings.

COVER

G000



GENERAL NOTES:

- D
- C
- B
- INCLUDED AS PART OF THESE DOCUMENTS IS THE "GENERAL FOR CONSTRUCTION", AIA DOCUMENT A-201, ARTICLE 1 THRU 14 INCLUSIVE.
  - GENERAL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH ALL CITY, STATE, AND NATIONAL CODES AND ORDINANCES.
  - MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD, A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, WITH A HOLD HARMLESS CLAUSE, PROTECTING THE OWNER AND ARCHITECT.
  - ALL WORK SHALL COMPLY WITH THE REQUIREMENTS, POLICIES AND PROCEDURES OF THE OWNER.
  - ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
  - THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS, MAJOR ELEMENTS AND MATERIALS. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL COMPLETION OF THE PROJECT. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTOR SHALL FURNISH ALL OF THOSE ITEMS AND LABOR REQUIRED FOR THE FULL COMPLETION OF THIS PROJECT. ACCEPTANCE BY THE OWNER SHALL BE CONDITIONS OF THE CONTRACT.
  - THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTION DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
  - THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATION, AND REPAIR OR REPLACE ANY ELEMENTS DAMAGED DURING THE PROJECT.
  - DRAWINGS AND SPECIFICATIONS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF WORK IS SHOWN AND COORDINATION OF WORK IS MADE POSSIBLE.
  - THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL INCOMING UTILITIES.
  - THE DRAWINGS AND SPECIFICATIONS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. BASE DISAGREEMENTS IN THEMSELVES OR IN EACH OTHER ON THE MOST EXPENSIVE COMBINATION OF QUANTITY AND QUALITY OF WORK INDICATED.
  - ITEMS SPECIFICALLY MENTIONED IN THE SPECIFICATIONS BUT NOT SHOWN ON THE DRAWINGS OR ITEMS SHOWN ON THE DRAWINGS BUT NOT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS SHALL BE PROVIDED AS IF THEY WERE BOTH SPECIFIED AND SHOWN IN THE DRAWINGS.
  - ALL MINOR DETAILS OF WORK WHICH ARE NOT SPECIFICALLY SHOWN ON THE DRAWINGS, AS WELL AS SUCH ITEMS WHICH ARE NOT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS, BUT ARE NECESSARY FOR THE PROPER COMPLETION OF THE WORK, SHALL BE CONSIDERED AS INCIDENTAL AND AS BEING PART OF AND INCLUDED WITH THE WORK FOR WHICH PRICES ARE GIVEN IN THE PROPOSAL AND NO EXTRA COMPENSATION SHALL BE ALLOWED FOR THE PERFORMANCE THEREOF.
  - ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF CMU, MASONRY OR METAL STUD WALL(S) UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS. WHERE DIMENSIONS ARE NOTED "AS CLEAR" DIMENSION SHALL BE FROM FINISH TO FINISH.
  - CASEWORK, PLUMBING FIXTURES, TOILET PARTITIONS, AND OTHER FIXTURES AND EQUIPMENT ARE DIMENSIONED FROM FINISHED SURFACES UNLESS NOTED OTHERWISE.
  - ALL SPACES WITH FLOOR DRAINS - SLOPE NOT TO EXCEED 2% (ONE - IN - FIFTY) IN ANY DIRECTION. COORDINATE ALL FLOOR DRAINS WITH PLUMBING DRAWINGS PRIOR TO ANY ROUGH-IN AND CONCRETE PLACEMENT.
  - DIMENSIONS NOTED AS "FIELD VERIFY" SHALL BE CHECKED AT THE SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
  - DIMENSIONS NOTED AS "CLEAR" REQUIRE SPECIFIC COORDINATION BETWEEN DISCIPLINES AND/OR MANUFACTURERS.
  - ALL CMU CORNERS TO HAVE A BULLNOSE UNLESS NOTED OTHERWISE.
  - ALL FLOOR FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE. ALL FLOOR FINISH ELEVATION CHANGES SHALL HAVE THRESHOLDS OR REDUCERS STRIPS AS SPECIFIED.
  - OPEN EXTERIOR JOINTS AROUND DOOR AND WINDOW FRAMES, BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS, AT WALL AND ROOF PENETRATIONS AND ANY OTHER BUILDING ENVELOPE PENETRATION SHALL BE SEALED, CAULKED AND/OR WEATHER-STRIPPED TO PREVENT OR LIMIT AIR, MOISTURE AND VAPOR PENETRATION. USE ONLY SPECIFIED MANUFACTURER APPROVED MATERIALS AS DIRECTED BY MATERIAL MANUFACTURERS.
  - EFFECTIVELY ISOLATE ALL DISSIMILAR METALS/ MATERIALS TO PREVENT CORROSION BY ELECTROLYTIC ACTION OR OTHER CAUSES AS RECOMMENDED BY THE RESPECTIVE PRODUCT MANUFACTURER OR SUPPLIER.
  - PROPERLY TERMINATE ALL MATERIALS WITH APPROPRIATE TRIM, FLASHING, SEALANT, EXPANSION CONTROL, ETC. AS INDICATED ON DRAWINGS OR AS REQUIRED FOR PROPER INSTALLATION AS ACCEPTED BY STANDARD BUILDING PRACTICE.
  - COORDINATE AND PROVIDE APPROPRIATE BLOCKING IN WALLS AS REQUIRED TO SECURE ALL EQUIPMENT, HANDRAILS, CASEWORK, ETC. AS REQUIRED. WOOD BLOCKING SHALL MEET CODE REQUIREMENTS.
  - SINGLE USER TOILET ROOMS MAY BE CONFIGURED IN ACCORDANCE WITH TECHNICAL MEMORANDUM TM 03-02 ISSUED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS, ARCHITECTURAL BARRIERS DIVISION ALLOWING THE DOOR SWING TO ENCR OACH INTO THE 5 FOOT DIAMETER TURNING CIRCLE SPACE SO LONG AS A CLEAR FLOOR SPACE OF 30" X 48" IS PROVIDED.
  - REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR CEILING TYPES AND HEIGHTS. COORDINATE ALL LIGHT FIXTURES, MECHANICAL DIFFUSERS, NOTIFICATION DEVICES, ETC. WITH MEP DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.
  - COORDINATE HOUSEKEEPING PAD DIMENSIONS AND LOCATIONS WITH EQUIPMENT TO BE INSTALLED. ALL HOUSEKEEPING PADS SHALL BE A MINIMUM OF 4" TALL REINF. W/ #3 BARS AT 15" O.C.B.W. AND PROVIDE 1" (45- DEGREE) CHAMFERED EDGES UNLESS NOTED OTHERWISE.
  - ALL DOORS IN INTERIOR CMU WALLS & EXTERIOR MASONRY WALLS SHALL BE SET A MINIMUM OF 6" OFF THE PERPENDICULAR ADJACENT WALL ON THE HINGE SIDE OF THE DOOR UNLESS OTHERWISE NOTED. ALL INTERIOR DOORS IN STUD WALL ASSEMBLIES SHALL BE SET A MINIMUM OF 4" OFF THE PERPENDICULAR ADJACENT WALL ON THE HINGE SIDE OF THE DOOR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS FOR RESOLUTION.
  - SET ALL EXTERIOR DOOR THRESHOLDS IN FULL BED OF MANUFACTURER APPROVED SEALANT IN ACCORDANCE WITH MANUFACTURER INSTALLATION INSTRUCTIONS.
  - REFER TO ADA SHEET FOR MOUNTING HEIGHTS OF FIXTURES AND EQUIPMENT AS SCHEDULED. REFER TO THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS, ARCHITECTURAL BARRIERS DIVISION TEXAS ACCESSIBILITY STANDARDS FOR ALL MOUNTING HEIGHTS NOT LISTED AND FOR FURTHER CLARIFICATION AS NEEDED.

GENERAL FINISH NOTES:

- ALL FINISH EXTERIOR WOOD MATERIAL TO BE WEATHER TREATED.
- PAINT ALL EXPOSED WOOD.
- PAINT ALL NON-FACTORY FINISHED EXPOSED METAL.
- CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING FINISHED FLOORING SURFACE FROM DAMAGE DURING ALL CONSTRUCTION PHASES.

GENERAL SITE NOTES:

- COORDINATE ALL SPOT ELEVATIONS AND DIMENSIONS WITH CIVIL/LANDSCAPE/MEP/STRUCTURAL DRAWINGS.
- PROVIDE POSITIVE DRAINAGE OF 1% MINIMUM / 2% MAXIMUM AT ALL EXTERIOR PAVED PEDESTRIAN AREAS SUCH AS SIDEWALKS, PATIOS, STAIRS, ETC. UNLESS NOTED OTHERWISE.
- FINISH GRADE SLOPES SHALL BE NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL FENCE THE ENTIRE AREA OF BUILDING CONSTRUCTION AND CONTRACTOR STAGING/PARKING WITH TEMPORARY CHAINLINK CONSTRUCTION FENCING. DO NOT USE PERMANENT PERIMETER FENCING FOR CONSTRUCTION FENCING.
- THE CONTRACTOR SHALL KEEP VEHICULAR AND PEDESTRIAN ACCESS WAYS CLEAR AND CLEAN AT ALL TIMES.
- THE AREA OF CONSTRUCTION SHALL BE FENCED OR BARRICADED WHILE CONSTRUCTION IS TAKING PLACE. FENCES AND BARRICADES SHALL BE MAINTAINED STRAIGHT AND ERECT DURING THE CONSTRUCTION.
- THE CONTRACTOR STAGING AREA SHALL BE FENCED DURING THE ENTIRE CONTRACT PERIOD. THE CONTRACTOR'S FIELD OFFICE, TOILET FACILITIES, MATERIAL, EQUIPMENT, AND WORKER PARKING SHALL BE WITHIN THE STAGING AREA. THE STAGING AREA SHALL HAVE VEHICULAR ACCESS GATES AS REQUIRED BY THE CONTRACTOR AND COORDINATED WITH THE OWNER.
- THE CONTRACTOR SHALL REPAIR, RESTORE OR REPLACE ANY EXISTING INSTALLATIONS DAMAGED BY WORK OF THIS CONTRACT INCLUDING ASPHALT ROADS, SODDED AREAS AND OTHER LANDSCAPING.
- REMOVE ALL BARRICADES AND OTHER TEMPORARY CONSTRUCTION AT THE COMPLETION OF THE WORK.
- THE LOCATIONS OF UTILITY LINES SHOWN ON THE SITE PLAN ARE APPROXIMATE. VERIFY THE LOCATION OF ANY UTILITY LINES PRIOR TO COMMENCING DIGGING ON THE SITE.
- CONTRACTOR TO FIELD VERIFY ALL CITY UTILITIES (LIGHT POLES, HYDRANTS, ETC.) ALONG CITY RIGHT OF WAYS TO ENSURE THAT PROPOSED SIDEWALKS TO NOT INTERFERE.
- SEE CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR SITE WORK ASSOCIATED WITH THOSE DISCIPLINES.
- ALL STRIPING AND TRAFFIC SIGNS SHALL MEET TXDOT STANDARDS (TYP.)
- ALL FLATWORK SHALL MEET TEXAS ACCESSIBILITY STANDARDS.
- SEE SPECIFICATION SECTIONS "GENERAL REQUIREMENTS" FOR OTHER REQUIREMENTS.

GENERAL SITE DEMOLITION NOTES:

- GENERAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE ENGINEER PRIOR TO BIDDING FOR CLARIFICATION.
- REFER TO CIVIL, STRUCTURAL & MEP DRAWINGS FOR ADDITIONAL DEMOLITION AND ALTERATION NOTES.
- THE OWNER HAS FIRST RIGHT OF SALVAGE OF ALL FIXTURES, EQUIPMENT AND BUILDING MATERIALS REMOVED AS PART OF THIS CONTRACT. REMOVED MATERIALS SHALL NOT BE REUSED IN THE NEW CONSTRUCTION, UNLESS OTHERWISE NOTED. REMOVE ALL OTHER DEBRIS AND WASTE FROM THE SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL REGULATIONS. CUTTING AND PATCHING:
- PROVIDE MATERIALS FOR CUTTING & PATCHING WHICH WILL RESULT IN EQUAL OR BETTER WORK THAN THAT BEING CUT OR PATCHED.
- ANY EXISTING CONSTRUCTION THAT IS TO BE REMOVED SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE ANY EXISTING CONSTRUCTION THAT IS TO REMAIN.
- PLUMBING LINES THAT ARE TO BE REMOVED SHALL BE REMOVED COMPLETELY. REFER TO THE PLUMBING PLANS.
- SEE CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR DEMOLITION WORK ASSOCIATED WITH THOSE DISCIPLINES.

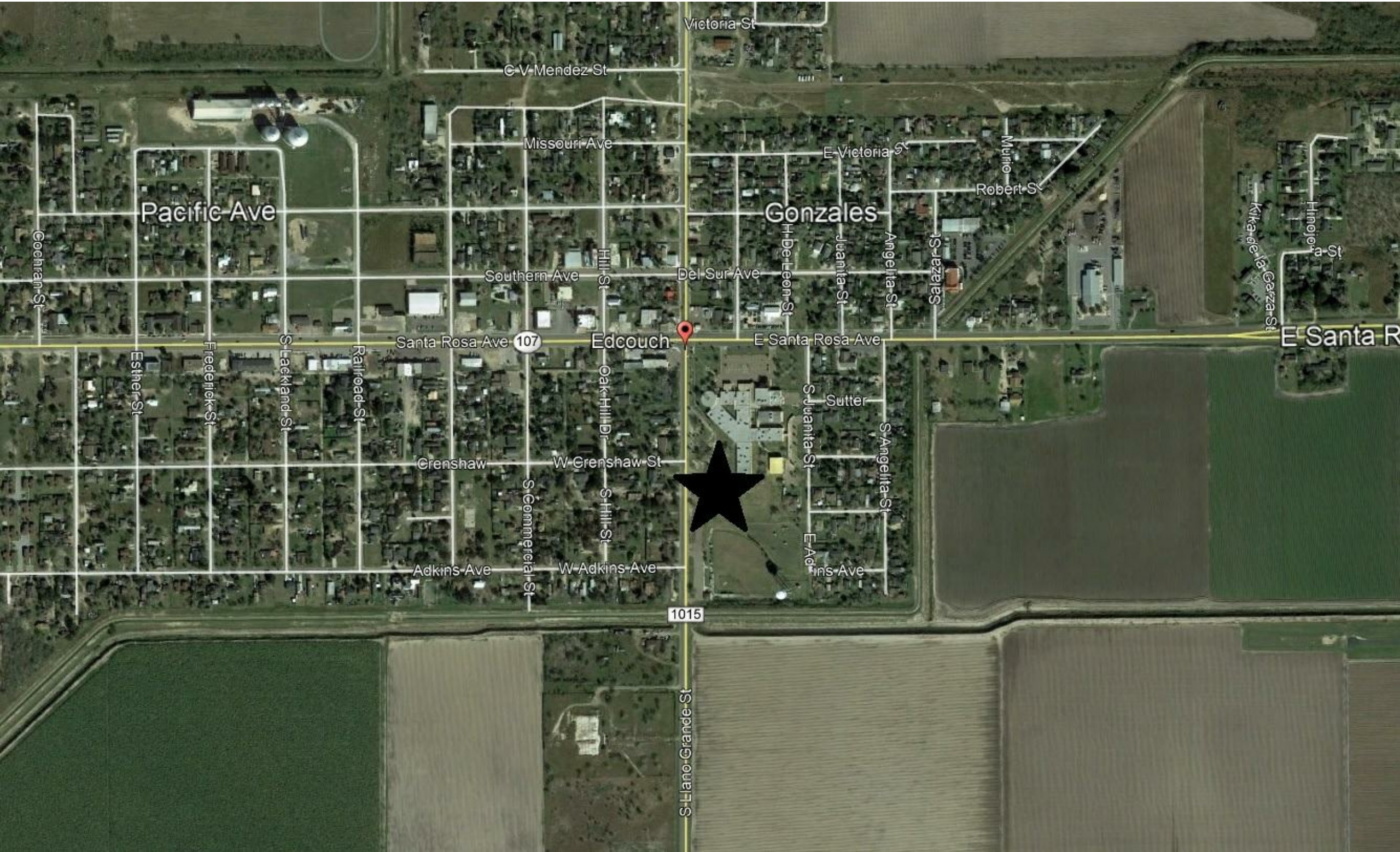
LIST OF ABBREVIATIONS:

A/C	AIR CONDITIONER	LV	LOW VOLTAGE
A.D.	AREA DRAIN	MFR	MANUFACTURER(S)
A.F.F.	ABOVE FINISHED FLOOR	M.O.	MASONRY OPENING
ALT.	ALTERNATE	MAS'Y	MASONRY
ALUM	ALUMINUM	MAX	MAXIMUM
B/	BOTTOM OF	M/C	MEDICINE CABINET
BD	BOARD	MECH	MECHANICAL
BLDG	BUILDING	MTL	METAL
BSMT	BASEMENT	MICRO	MICROWAVE
CAB	CABINET	MIN	MINIMUM
C.T.	CERAMIC TILE	MISC	MISCELLANEOUS
CFM	CUBIC FEET PER MINUTE	NO.	NUMBER
CL	CENTER LINE	NOM	NOMINAL
CLG	CEILING	NIC	NOT IN CONTRACT
CO	CO DETECTOR	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	O.C.	ON CENTER
CMC	CONCRETE	O.I.	ORNAMENTAL IRON
CPT	CARPET	OSD	OPEN SITE DRAIN
D.	DEEP	P	PANTRY
D.S.	DOWNSPOUT	P. LAM	PLASTIC LAMINATE
DEMG	DEMISING	PL	PLATE
DIA	DIAMETER	PT.	PAINT
DL	DEAD LOAD	QT	QUARRY TILE
DN	DOWN	R	RADIUS
DW	DISHWASHER	R.O.	ROUGH OPENING
EL	ELEVATION	REF	REFRIGERATOR
ELEC	ELECTRICAL(AL)	REQ'D	REQUIRED
ELEV	ELEVATOR	REV	REVISION
EXST'G	EXISTING	RNG	RANGE
EO	EQUAL	S&R	SHELF & ROD
F.D.	FLOOR DRAIN	S.C.	SOLID CORE
F.P.	FIRE PLACE	S.D.	SMOKE DETECTOR
FND	FOUNDATION	S.F.	SQUARE FEET
FPHB	FROST PROOF HOSE BIB	S.S.	STAINLESS STEEL
FRTW	FIRERETARDANT TREATED WOOD	SH	SHELF
FURN.	FURNACE	STD	STANDARD
G.D.	GARBAGE DISPOSAL	STL	STEEL
GA.	GAUGE	THK	THICK(NESS)
GFI	GROUND FAULT INTERRUPTER	T&G	TONGUE & GROOVE
GYP BD	GYP SUM BOARD	T/	TOP OF
H.P.	HIGH POINT	TYP.	TYPICAL
H.C.	HOLLOW CORE	U.N.O.	UNLESS NOTED OTHERWISE
H.M.	HOLLOW METAL	VERT.	VERTICAL
HT	HEIGHT	V.I.F.	VERIFY IN FIELD
HORZ	HORIZONTAL	V.T.	VINYL TILE
INCL	INCLUDE(D) (ING)	V.W.L.	VINYL WOOD LAMINATE
INSL	INSULATION	W	WIDE
JT	JOINT	WWF	WELDED WIRE FABRIC
K.S.	KITCHEN SINK	W.I.C.	WALK IN CLOSET
LAM	LAMINATE	W.P.	WATER PROOF
LAV	LAVATORY	W/D	WASHER / DRYER
L	LINEN CLOSET	WC	WATER CLOSET
LL	LIVE LOAD	WD	WOOD
L.P.	LOW POINT	WH	WATER HEATER

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E100	ALTERNATE BID: RESURFACE SOUTH PARKING
E101	LIGHTING POLE SITE PLAN
	ELECTRICAL SITE PLAN

LOCATION MAP



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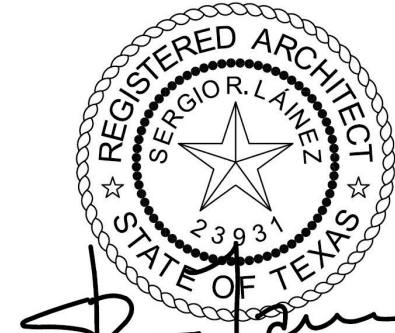
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TITLE INDEX AND  
GENERAL NOTES

G001

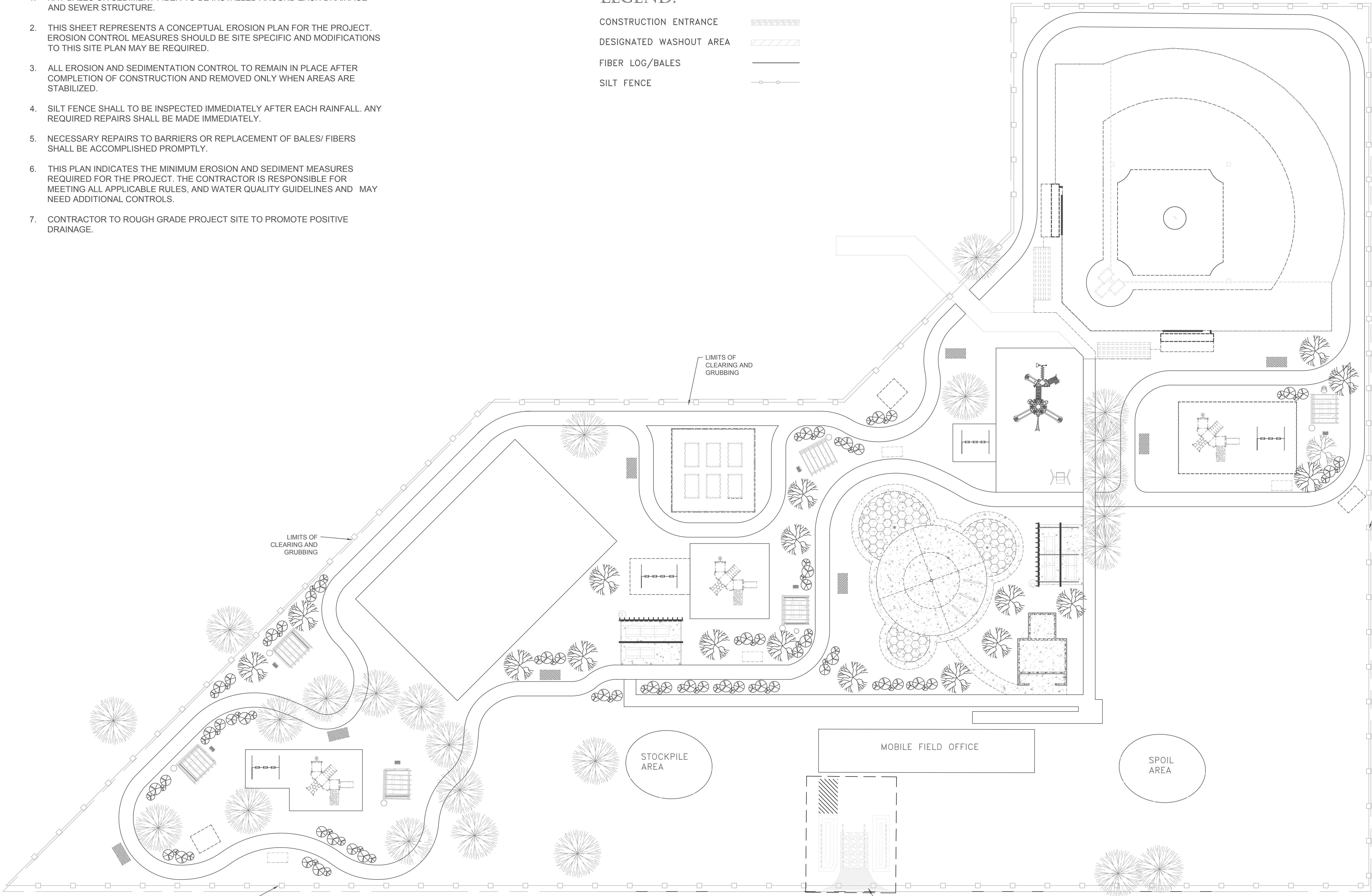


NOTES:

1. HAY BALES OR SEDIMENT FIBER TO BE INSTALLED AROUND EACH DRAINAGE AND SEWER STRUCTURE.
2. THIS SHEET REPRESENTS A CONCEPTUAL EROSION PLAN FOR THE PROJECT. EROSION CONTROL MEASURES SHOULD BE SITE SPECIFIC AND MODIFICATIONS TO THIS SITE PLAN MAY BE REQUIRED.
3. ALL EROSION AND SEDIMENTATION CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS ARE STABILIZED.
4. SILT FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
5. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES/ FIBERS SHALL BE ACCOMPLISHED PROMPTLY.
6. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, AND WATER QUALITY GUIDELINES AND MAY NEED ADDITIONAL CONTROLS.
7. CONTRACTOR TO ROUGH GRADE PROJECT SITE TO PROMOTE POSITIVE DRAINAGE.

LEGEND:

- CONSTRUCTION ENTRANCE
- DESIGNATED WASHOUT AREA
- FIBER LOG/BALES
- SILT FENCE



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ISSUED FOR TPWD REVIEW 09/13



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CONSTRUCTION  
SITE PLAN  
LAYOUT

C000

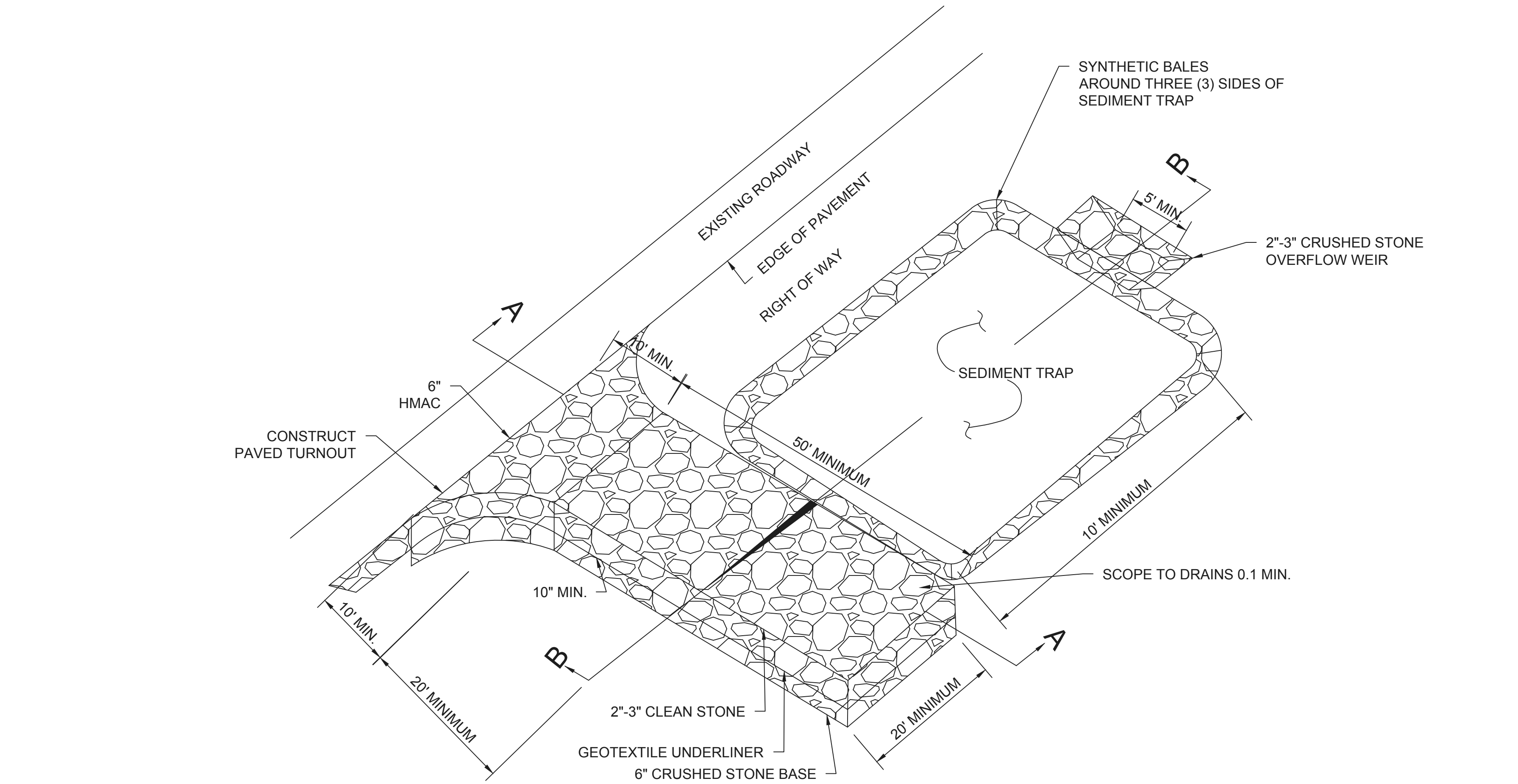


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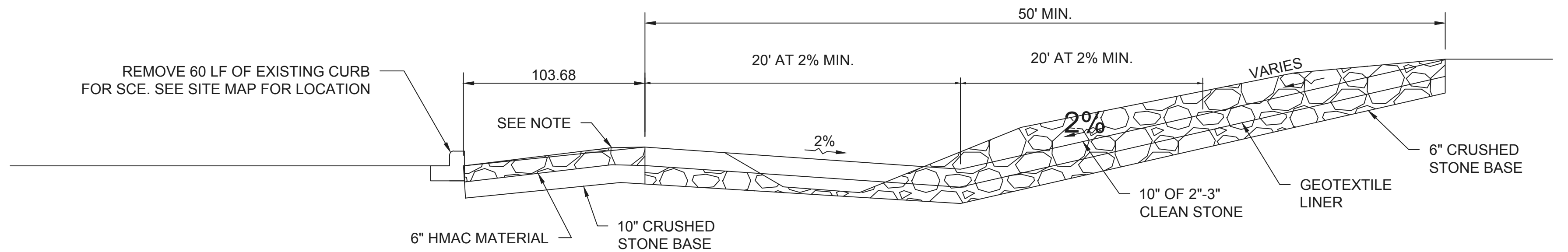
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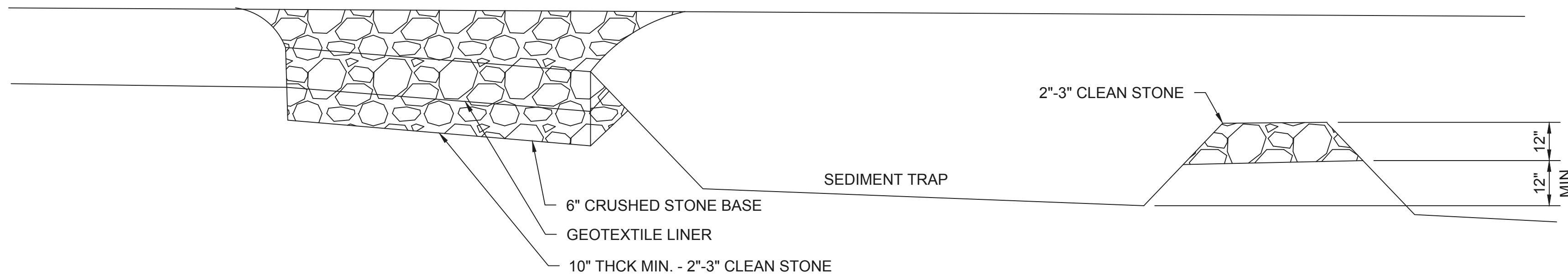
A



SEC TYPICAL PLAN



SECTION A-A



SECTION B-B  
CONSTRUCTION EXIT  
SCALE: N.T.S.

## NOTES:

1. A SOIL TRACKING PREVENTION DEVICE (STPD) SHALL BE CONSTRUCTED AT LOCATIONS DESIGNED BY ENGINEER FOR POINTS OF EGRESS FROM UNSTABILIZED AREAS OF THE PROJECT TO PUBLIC ROADS WHERE OFF-SITE TRACKING OF MUD COULD OCCUR. TRAFFIC FROM UNSTABILIZED AREAS OF THE CONSTRUCTION PROJECT SHALL BE DIRECTED THRU A STPD, BARRIERS, FLAGGING, OR OTHER POSITIVE MEANS SHALL BE USED AS REQUIRED TO LIMIT AND DIRECT VEHICULAR EGRESS ACROSS THE STPD.
2. THE CONTRACTOR MAY PROPOSE AN ALTERNATIVE TECHNIQUE TO MINIMIZE OFF-SITE TRACKING OF SEDIMENT. THE ALTERNATIVE MUST BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO USE.
3. ALL , MATERIALS SPILLED, DROPPED, OR TRACKED ONTO PUBLIC ROADS (INCLUDING THE STPD AGGREGATE AND CONSTRUCTION MUD) SHALL BE REMOVED DAILY, OR MORE FREQUENTLY IF SO DIRECTED BY THE ENGINEER.
4. AGGREGATES SHALL BE FOOT SIZE #1. IF THIS SIZE IS NOT AVAILABLE, THE NEXT AVAILABLE SMALLER SIZE AGGREGATE MAY BE SUBSTITUTED WITH THE APPROVAL OF THE ENGINEER. SIZES CONTAINING EXCESSIVE SMALL AGGREGATE WILL TRACK OFF THE PROJECT AND ARE UNSUITABLE.
5. THE SEDIMENT PIT SHOULD PROVIDE A RETENTION VOLUME OF 3600CUBIC FEET/ACRE OF SURFACE AREA DRAINING TO THE PIT. WHEN THE STPD IS ISOLATED FROM OTHER DRAINAGE AREAS, THE FOLLOWING PIT VOLUMES WILL SATISFY THIS REQUIREMENT: 15'X50'=100 CUBIC FT. 30'X50'=200 CUBIC FT. AS AN OPTION TO THE SEDIMENT PIT, THE WIDTH OF THE SWALE BOTTOM CAN BE INCREASED TO OBTAIN THE VOLUME. WHEN THE SEDIMENT PIT OR SWALE VOLUME HAS BEEN REDUCED TO ONE HALF, IT SHALL BE CLEANED. WHEN A SWALE IS USED, SYNTHETIC BALES OR SILT FENCE SHALL BE PLACED ALONG THE ENTIRE LENGTH.
6. THE SWALE DITCH DRAINING THE STPD SHALL HAVE A 0.02% MINIMUM AND A 1.0% MAXIMUM GRADE ALONG THE STPD AND TO THE SEDIMENT PIT.
7. THE STPD SHALL BE MAINTAINED IN A CONDITION THAT WILL ALLOW IT TO PERFORM ITS FUNCTION. TO PREVENT OFF-SITE TRACKING, THE STPD SHALL BE RINSED (DAILY WHEN IN USE) TO MOVE ACCUMULATIVE MUD DOWNWARD THRU THE STONE. ADDITIONAL STABILIZATION OF THE VEHICULAR ROUTE LEADING TO THE STPD MAY BE REQUIRED TO LIMIT THE MUD TRACKED.
8. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED.  
FLUSH SURFACES STONE TOWARD SEDIMENT TRAP WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE. PLACEMENT OF SEDIMENT TRAP SHALL BE AT LEAST THE MINIMUM DISTANCE FROM THE RIGHT OF WAY AS REQUIRED BY LOCAL JURISDICTION.
9. CROWN POINT OF DRIVE MUST EXCEED EXISTING TOP OF CURB ELEVATION ALONG STREET, THUS PREVENTING ANY STREET DRAINAGE FROM ENTERING THE DRIVE.



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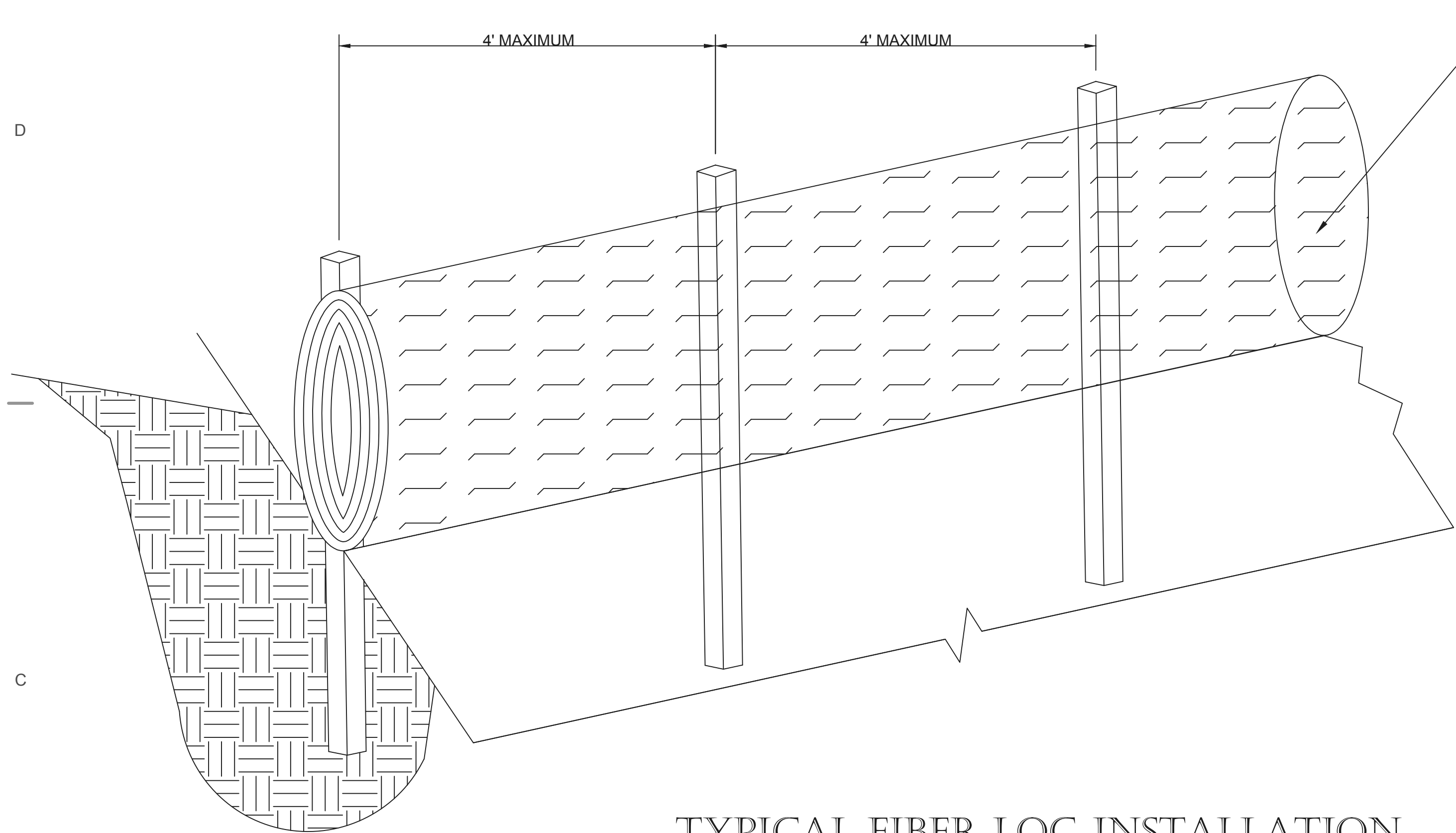
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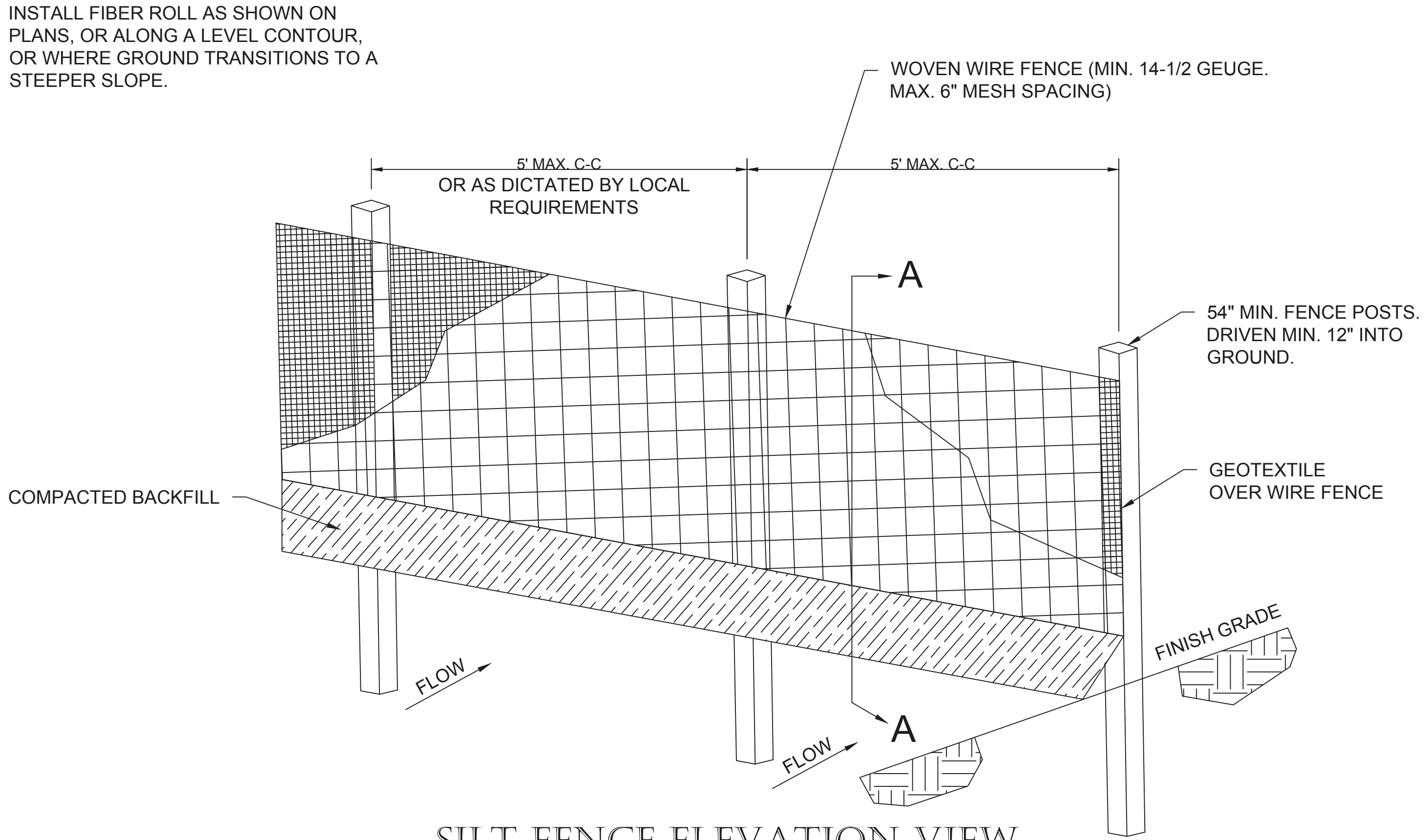
STORM WATER  
POLLUTION  
PREVENTION PLAN  
DETAILS

C001

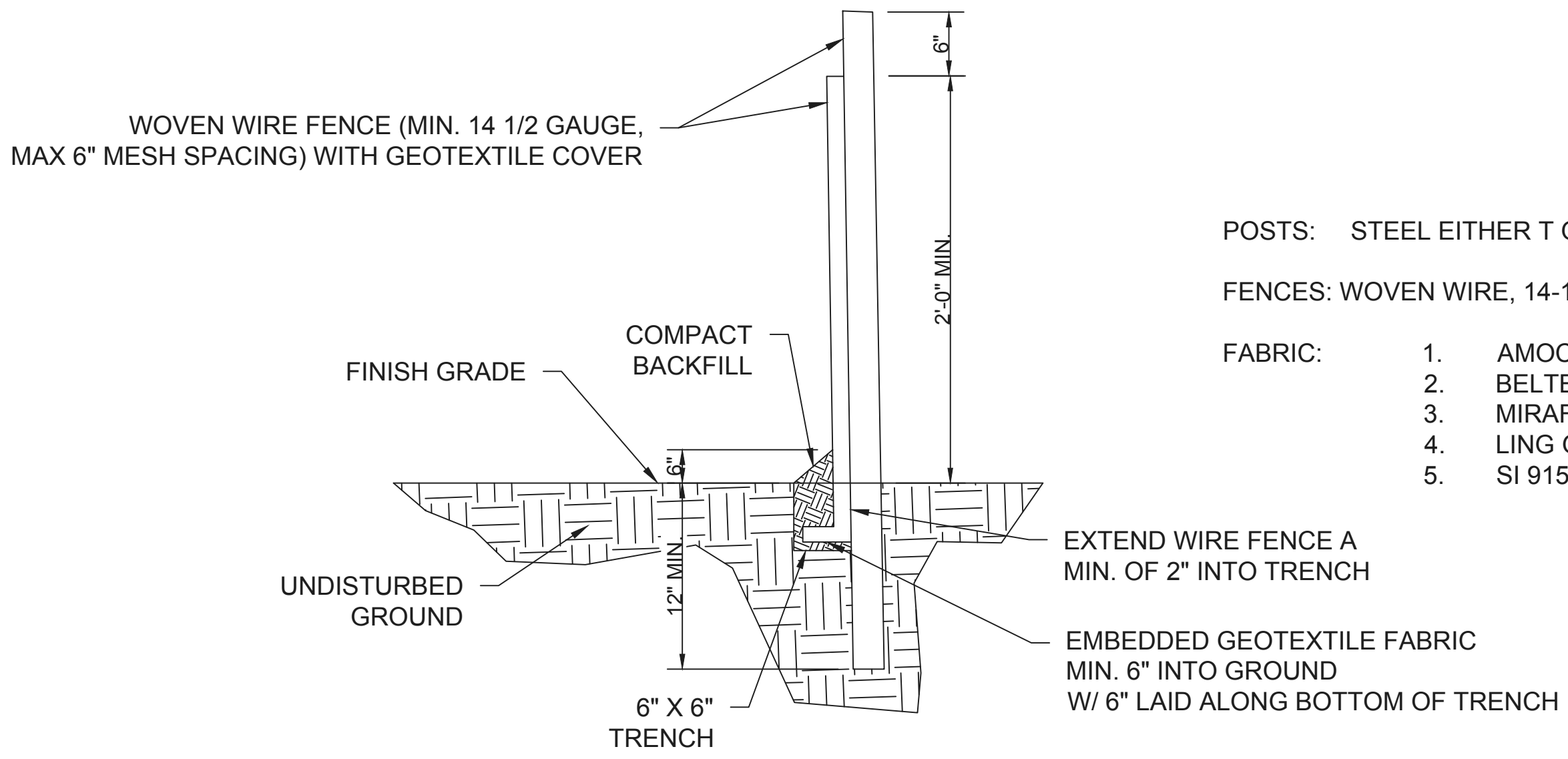




TYPICAL FIBER LOG INSTALLATION



SILT FENCE ELEVATION VIEW



- POSTS: STEEL EITHER T OR U TYPE.
- FENCES: WOVEN WIRE, 14-1/2 GAL 6" MAX. MESH OPENING
- FABRIC:
1. AMOCO 1198
  2. BELTECH 810
  3. MIRAFT 130X
  4. LING GTF 190
  5. SI 915 SC

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES.
2. GEOTEXTILE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF GEOTEXTILE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCH AND FOLD.
4. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN. COLLECTED MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
5. ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS INDICATED OTHERWISE5.

SEDIMENTATION / SILT FENCE  
WITH WIRE SUPPORT



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STORM WATER  
POLLUTION  
PREVENTION PLAN  
DETAILS

C002



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GENERAL EROSION CONTROL NOTES

1. A STORM WATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING (SWPPP PLAN), THE STANDARD DETAILS, THE PLAN NARRATIVE, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (TPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE. AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
5. SITE MAP MUST BE CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. CONTRACTORS SHALL MINIMIZE CLEARING TO A MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEARING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. LOCATION SHALL BE APPROVED BY PROJECT MANAGEMENT.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERTY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS OR LEAKS.
10. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEAL CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS SHALL BE TEMPORARY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
14. DISTURBED PORTIONS OF THE SITE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE DIRT OR MUD, THE THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER THE PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE ONLY IN USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
17. CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE BEEN COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES SHALL BE LEFT IN ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VEHICLES AND EROSION.
20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT O THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILL OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

**\*\*CAUTION\*\* - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS TO PUT ON NOTICE THAT THERE ARE NUMEROUS UNDERGROUND UTILITIES IN THE LINE OF WORK, INCLUDING WATER, SEWER, GAS, TELEPHONE AND ELECTRIC. THERE MAY BE OTHER UTILITIES INCLUDING CABLE TELEVISION, TELECOMMUNICATION AND OTHERS. SOME OF THESE UTILITIES MAY BE ABANDONED, WHILE MANY ARE ACTIVE. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN CONDUCTING EXCAVATION OPERATIONS. AND IF ANY EXISTING UTILITIES ARE DAMAGED, THEY SHALL BE REPAIRED IMMEDIATELY AT NO COST TO THE OTHER OWNER. THE CONTRACTOR IS TO BE AWARE THAT IF ANY EXISTING UTILITIES ARE SHOWN O THE PLANS THEY ARE SHOWN IN THEIR APPROXIMATE LOCATION ONLY AND THAT THE EXISTING UTILITIES SHOWN REPRESENT A DILIGENT EFFORT TO SHOW THE APPROXIMATE LOCATION OF SOME OF THE UTILITIES. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 272 HOURS BEFORE ANY EXCAVATION TO REQUEST FIELD LOCATION OR UTILITIES.

**INSPECTIONS/CERTIFICATIONS NOTE**  
ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

**\*\*NOTICE TO CONTRACTOR\*\***  
IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE ENGINEER FOR REVIEW. CONTRACTOR IS RESPONSIBLE FOR VERIFYING HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES FROM THE INFORMATION SHOWN ON THE PLANS. ANY ADDITIONAL COST INCURRED DUE TO NON-VERIFICATION OF THESE EXISTING ITEMS SHALL BE AT THE CONTRACTOR'S EXPENSE.

**SEEDING AND MULCHING NOTE**  
CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS WITHIN THE SUBJECT BOUNDARY NOT PAVED OR OTHERWISE COVERED, PER THE SPECIFICATION. ALL AREAS DISTURBED OUTSIDE THE PROPERTY BOUNDARY. SHALL ALSO BE SEEDED AND MULCHED AND COVER SHALL BE ESTABLISHED TO PREVENT EROSION. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY WATERING UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.

**100-YR FLOOD PLAIN NOTE**  
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAPS FOR HIDALGO COUNTY, TEXAS, COMMUNITY-PANEL, NO. 480338 0020 E, MAP REVISED JUNE 6, 2000. THIS PROPERTY AP1 :ARS TO LIE WITHIN AN AREA DESIGNATED "ZONE X", "AREAS OF MINIM 2 . FLOODING".

MAINTENANCE

ALL MEASURES STATED ON THIS EROSION AND SEDIMENTATION CONTROL PLAN/SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE TPDES GENERAL PERMIT, WHICHEVER IS MORE STRINGENT AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED, SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION EXISTS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASIN SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASIN OF TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

SOIL EROSION AND SEDIMENT CONTROL

1. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE SUBDIVISION CONTROL ORDINANCE OF MUNICIPALITY.
2. BEFORE STARTING CLEARING AND SITE GRADING WORK, A CONSTRUCTION ENTRANCE AND SILT FENCE SHALL BE INSTALLED AS SOWN ON THE PLANS.
3. THE CONSTRUCTION ENTRANCE TO THE SITE SHALL BE STABILIZED WITH GRAVEL PRIOR TO BEGIN ANY WORK ON THE SITE. THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY FOR ITS EFFECTIVENESS TO REMOVE DIRT WHICH COULD LEAVE THE SITE BY CONSTRUCTION VEHICLES.
4. SILT FILTER FENCE SHALL BE PLACED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE MUNICIPALITY'S ENGINEERING INSPECTOR TO PREVENT SEDIMENT FROM LEAVING THE SITE.
5. STAKED SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE INLETS AND CATCH BASINS AS SHOWN ON THE PLANS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.
7. THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY STORM EVENT IN EXCESS OF 1/2". AN INSPECTION REPORT SHALL BE FILLED OUT EACH TIME AND SHALL BE KEPT IN A BINDER AT JOB SITE AT ALL TIMES ALONG WITH NOI. NPDS PERMIT & SWAPP PLAN.
8. AT THE COMPLETION OF THE PROJECT, ALL STORM SEWER PIPES AND STRUCTURES SHALL BE CLEANED AND FREE OF DIRT AND DEBRIS. THE SEDIMENTATION SHALL BE REMOVED FROM THE STORM SEWER SYSTEM AND SHALL NOT BE WASHED OUT IN THE STORM SEWER SYSTEM.
9. THE TEMPORARY EROSION CONTROL MEASURES SHALL BE IN PLACE EFFECTIVELY UNTIL ALL THE PERMANENT EROSION CONTROL ITEMS ARE FULLY FUNCTIONAL.
10. THE GUARANTEE PERIOD SHALL START AFTER ALL THE PERMANENT EROSION CONTROL MEASURES ARE FULLY FUNCTIONAL AND ACCEPTABLE TO OWNER OR HIS REPRESENTATIVES.
11. A. STOCKPILES OF ANY KIND SHALL NOT BE PLACED IN SPECIAL MANAGEMENT AREAS.  
B. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE TAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILES.

12. IF THE VOLUME, VELOCITY, SEDIMENTATION LOAD, OR PEAK FLOW RATES OF STORM WATER RUNOFF ARE TEMPORARY INCREASED DURING CONSTRUCTION, THEN PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM SUCH DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION.

13. STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENTATION TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.

14. THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 14 DAYS AFTER FINAL GRADE IS REACHED UNLESS A 1/2" OR GREATER RAINFALL EVENT IS FORECAST PRIOR TO 14 DAYS. IN THAT CASE THE PROPER SOIL PROTECTION SHALL BE INSTALLED IMMEDIATELY. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 14 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION. TEMPORARY COVER SHALL BE MAINTAINED CONTINUOUSLY UNTIL PERMANENT COVER IS ESTABLISHED.

15. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING, IRRIGATION, OR FIRE HYDRANT FLUSHING SHALL BE FILTERED PRIOR TO LEAVING JOB SITE.

16. GRAVELED ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASHDOWN FACILITIES IF NECESSARY, SHALL BE PROVIDED TO PREVENT THE DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED CONTINUOUSLY.

17. ALL CONTRACTORS SHALL COMPLY WITH SWAPP PLAN AND NPDES REQUIREMENTS & SHALL SIGN SWAPP ON FILE WITH OWNER OR GENERAL CONTRACTOR.



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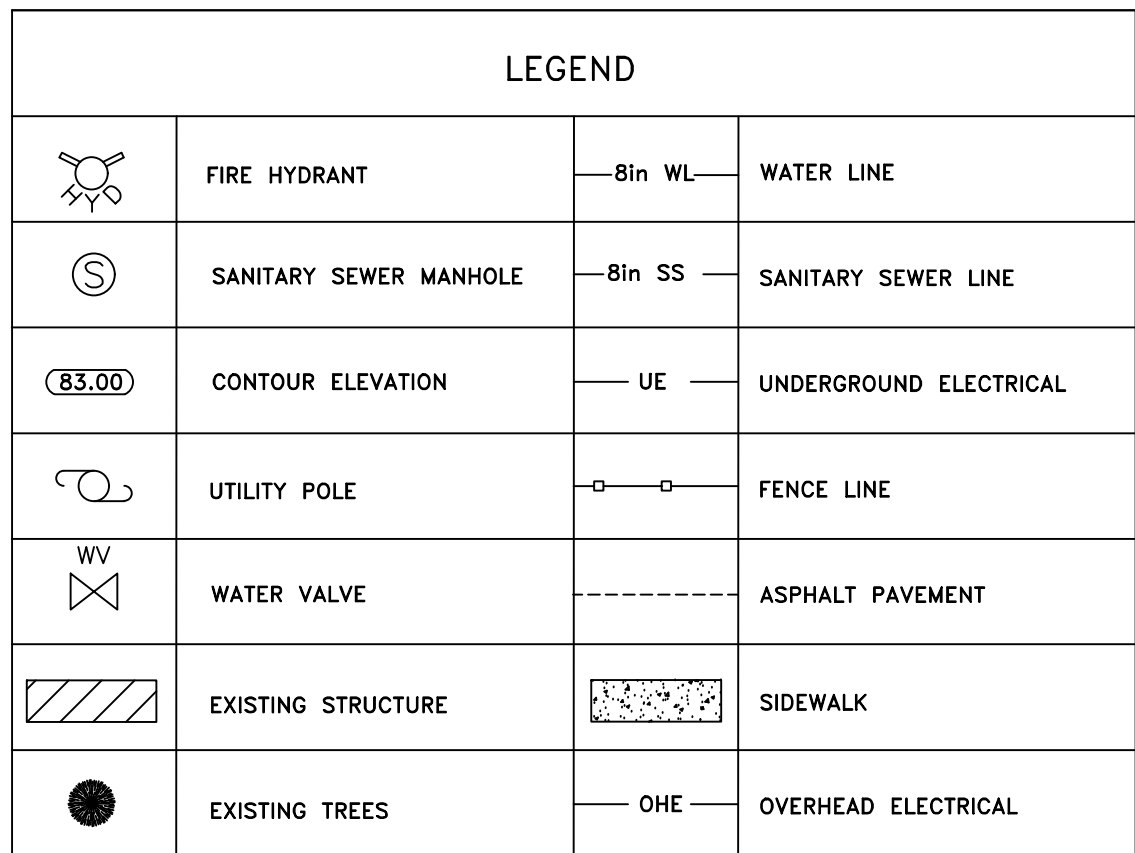
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STORM WATER  
POLLUTION  
PREVENTION PLAN  
NOTES

C003



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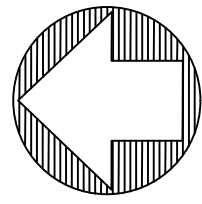
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GRADING  
PLAN

C005

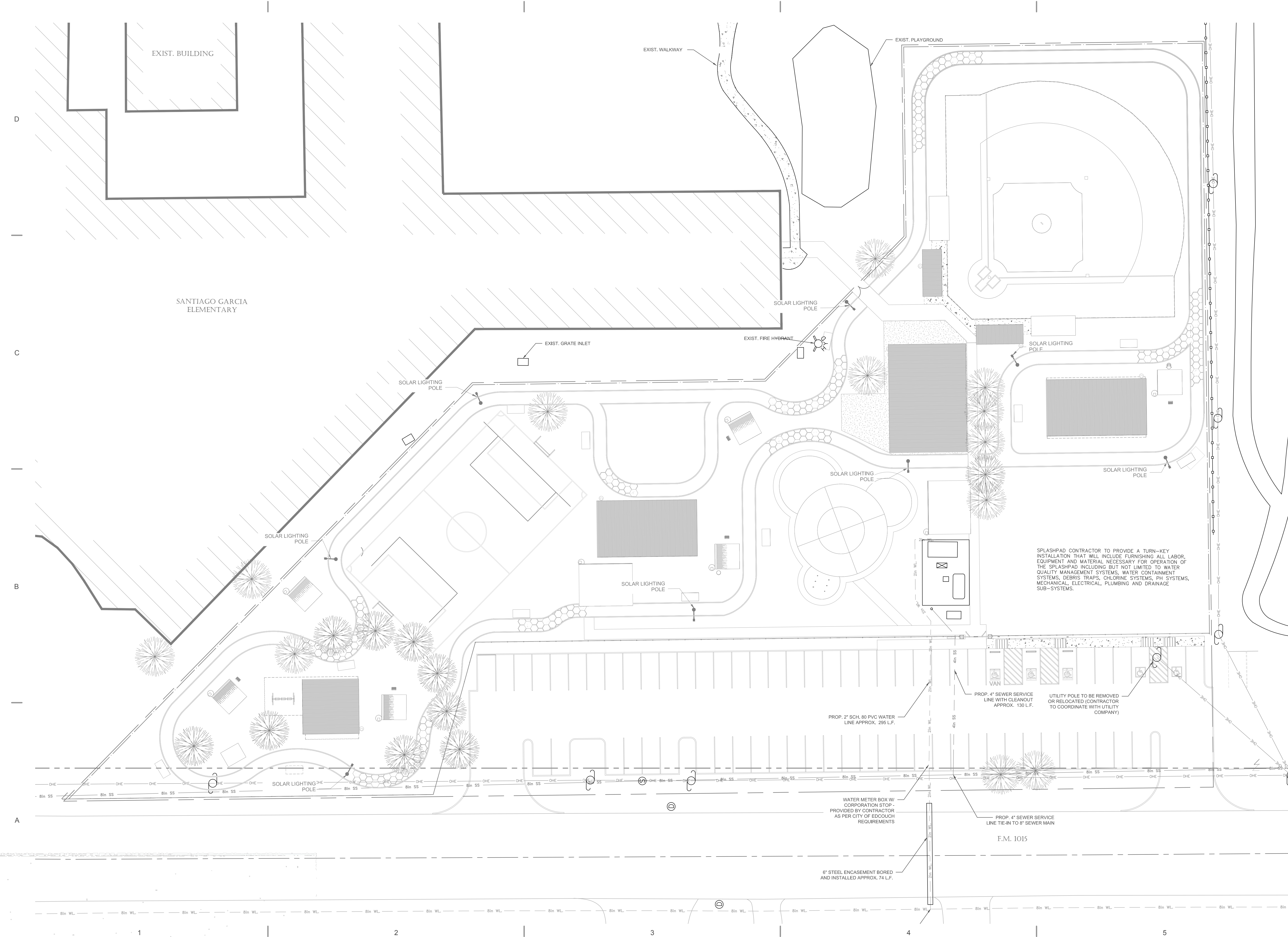


SCALE: 1"=20'

LEGEND			
	FIRE HYDRANT	8in WL	WATER LINE
	SANITARY SEWER MANHOLE	8in SS	SANITARY SEWER LINE
	CONTOUR ELEVATION	UE	UNDERGROUND ELECTRICAL
	UTILITY POLE		FENCE LINE
	WATER VALVE		ASPHALT PAVEMENT
	EXISTING STRUCTURE		SIDEWALK
	EXISTING TREES	OHE	OVERHEAD ELECTRICAL

SANTIAGO GARCIA  
ELEMENTARY





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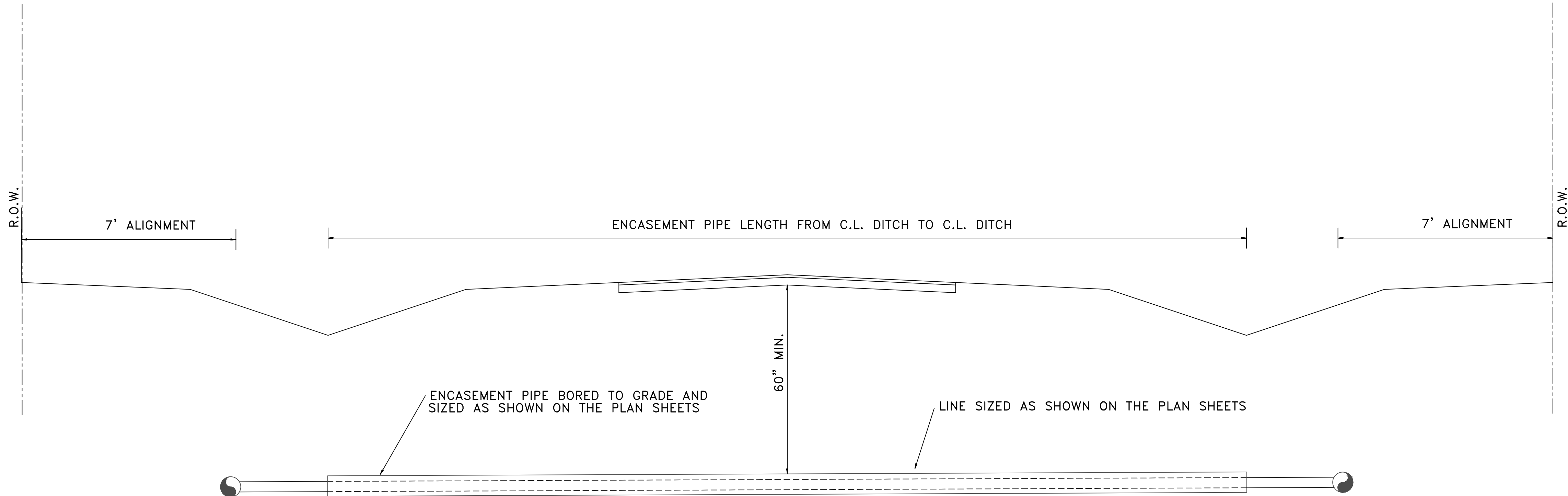
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**PARK UTILITY  
PLAN**

**C006**



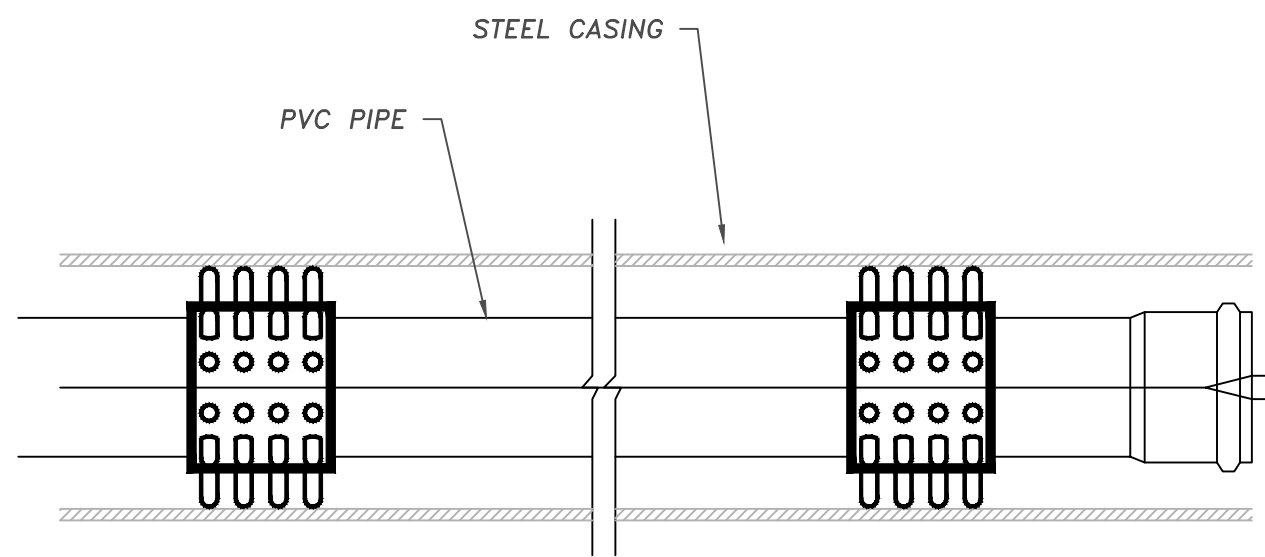
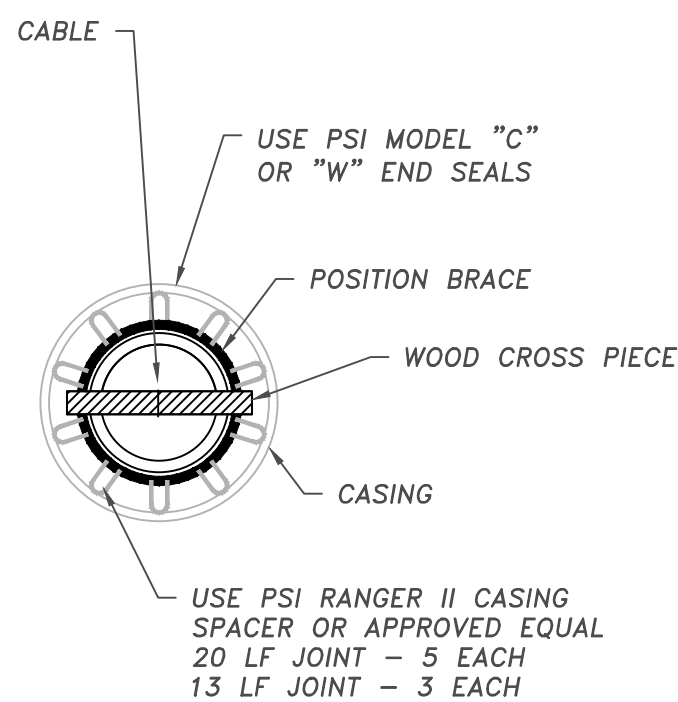
NOTE: HIGHWAY ENCASEMENT WILL EXTEND TO THE CENTER OF THE ROAD DITCH OR TO A LOCATION GIVEN IN THE APPROVED HIGHWAY PERMITS THE TOP OF THE ENCASEMENT SHALL NOT BE LESS THAN 36" BELOW THE BOTTOM OF THE DITCH ALL ENCASEMENT 10" IN DIAMETER AND LARGER WILL BE INSTALLED USING THE "DRY BORE" METHOD AND NO WATER WILL BE ALLOWED IN THE BORING PROCESS



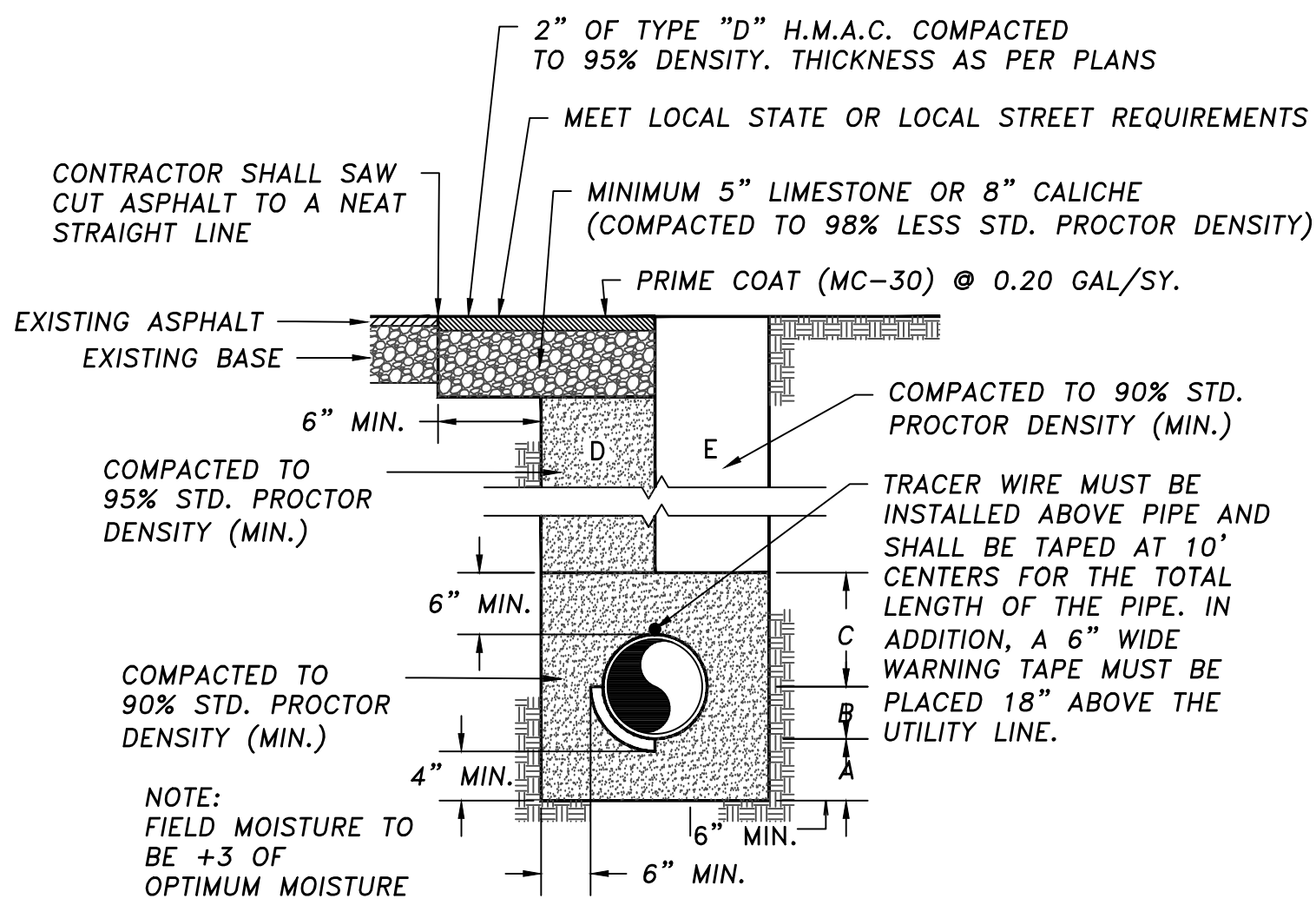
TYPICAL TXDOT HIGHWAY CROSSING DETAIL

STEEL CASING WALL THICKNESS CHART	
MINIMUM THICKNESS	DIAMETER OF CASING PIPE
1/4"	12" OR LESS
5/16"	OVER 12"-18"
3/8"	OVER 18"-22"
7/16"	OVER 22"-28"
1/2"	OVER 28"-34"
9/16"	OVER 34"-42"
5/8"	OVER 42"-48"
OVER 48" MUST BE APPROVED BY B.P.U.B.	
NOTE: THIS CHART IS ONLY FOR SMOOTH STEEL CASING PIPES WITH MINIMUM YIELD STRENGTH OF 35,000 PSI	

NOMINAL PIPE SIZE	CASING SIZE	NO. OF SKIDS
6"	12"	4
8"	16"	4
12"	20"	4
16"	24"	5



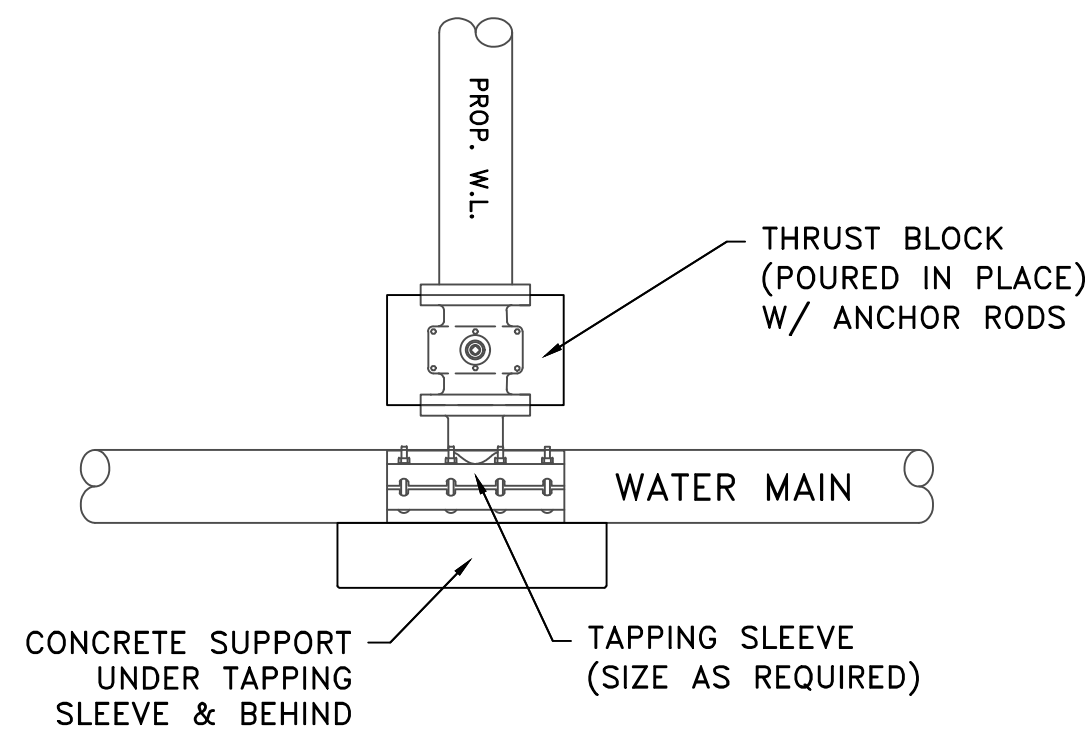
PVC PIPE CASING & SKIDS



TYPICAL PIPE BEDDING AND TRENCH BACKFILL DETAIL

- SAND BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE (MIN. THICKNESS = 6").
  - SAND BACKFILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE (4" LIFTS, HAND TAMPED).
  - SAND BACKFILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE (6" LIFTS, HAND TAMPED).
  - SAND BACKFILL, CLASS "A" (6" LIFTS, MECHANICAL COMPACTION).
  - EARTH BACKFILL, CLASS "B" (12" LIFTS, MECHANICAL COMPACTION).
- FOUNDATION PREPARATION \*(WELLPOINTS, GRAVEL OR CEMENT STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO 95% STD. PROCTOR DENSITY. THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 6". STRUCTURE BACKFILL MATERIAL SHALL BE SAND, APPROVED SITE SOIL, OR OTHER APPROVED SUBSTITUTE.



TYPICAL WET TAP DETAIL

CONCRETE THRUST BLOCKING

- ALL PLUGS, CAPS, TEES, AND BENDS WILL BE PROVIDED WITH CONCRETE REACTION BACKING CONSTRUCTED OF 2,000 PSI STRENGTH CONCRETE WITH BEARING AREA CALCULATED USING 100 PSI WATER MAIN PRESSURE AND 1,000 LB/FT SQ. UNDISTURBED SOIL BEARING. 12" PIPE-11 1/2 SQ. FT. AREA, 10"-8 SQ. FT. AREA. 8"-5 SQ. FT. AREA, 6" AND UNDER 3-3 1/2 SQ. FT. AREA. ALL BLOCKING WILL BE LEFT OPEN FOR INSPECTION AND WILL NOT BE COVERED WITHOUT ENGINEER'S APPROVAL.
- WHEN UNDISTURBED EARTH IS MORE THAN 2'-0 FROM THE OUTSIDE OF THE PIPE, THE CONTRACTOR SHALL PLACE TWO (2) ROWS OF CONCRETE BLOCK FROM THE PIPE TO THE UNDISTURBED EARTH AND COVER WITH 1'-0" OF CONCRETE ON TOP AND BOTH SIDES.
- PIPE RESTRAINTS, MEGALUG, OR EQUAL MAY BE USED IN LIEU OF CONCRETE BLOCKING EXCEPT WHERE UNDISTURBED EARTH IS MORE THAN 2'-0" FROM THE OUTSIDE OF THE PIPE, IN THAT CASE BOTH WILL BE USED
- PLACE PVC FILM OR PAPER BETWEEN PIPE AND CONCRETE.



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ISSUED FOR TPWD REVIEW 09/13/2018



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WATER DETAILS

C007





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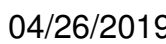
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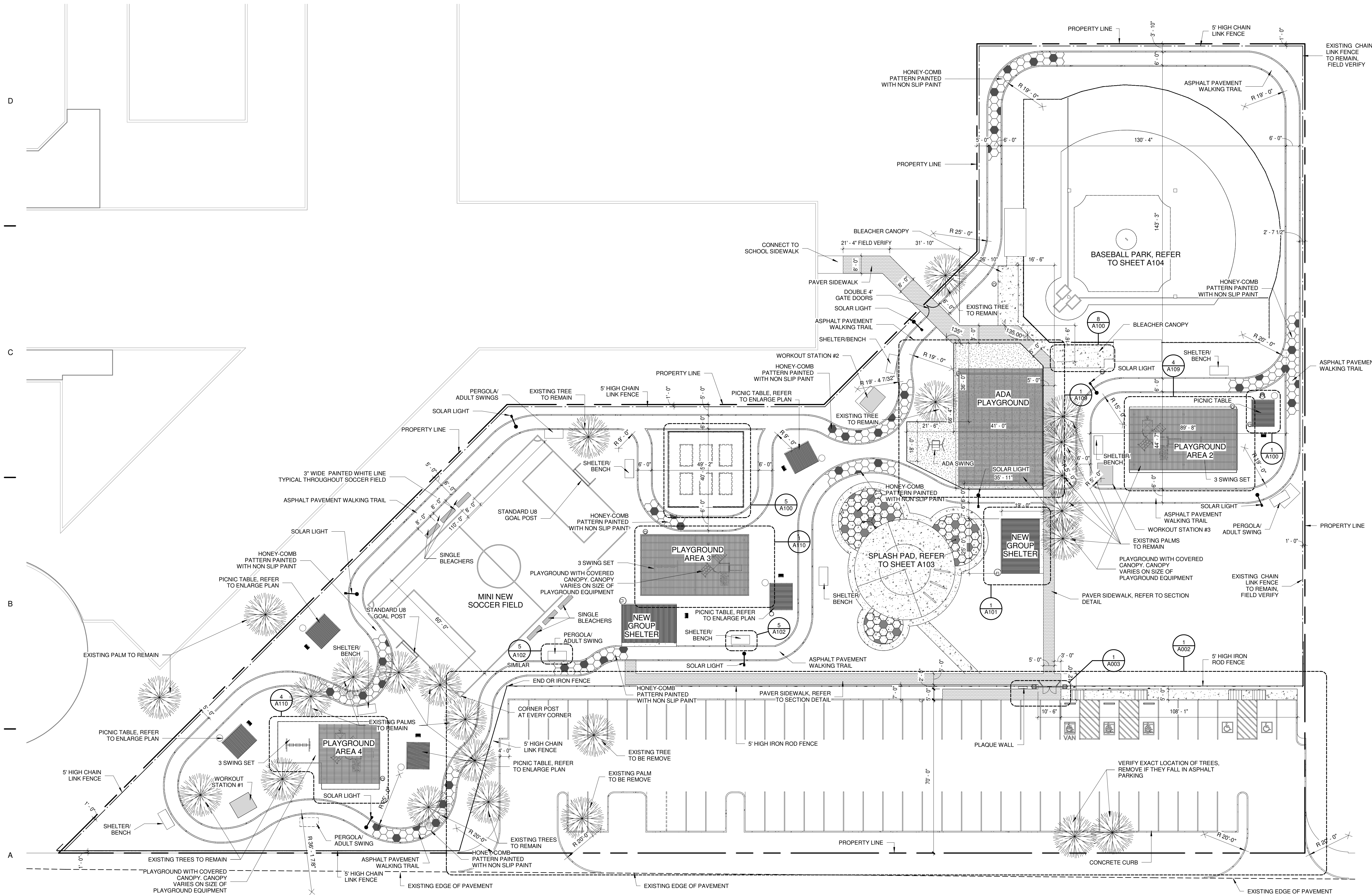
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## PROPOSED OVERALL SITE PLAN

# A000



1 PROPOSED SITE PLAN  
1" = 20'-0"



## D

- C

## B

- A**

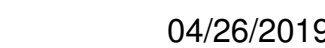
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LANDSCAPE PLAN

# A001





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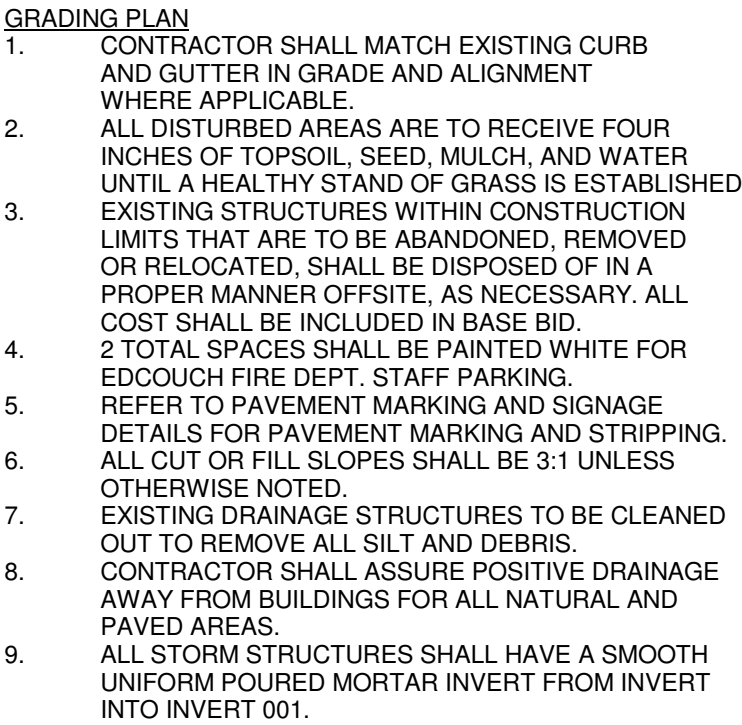
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## ASPHALT PARKING

A002

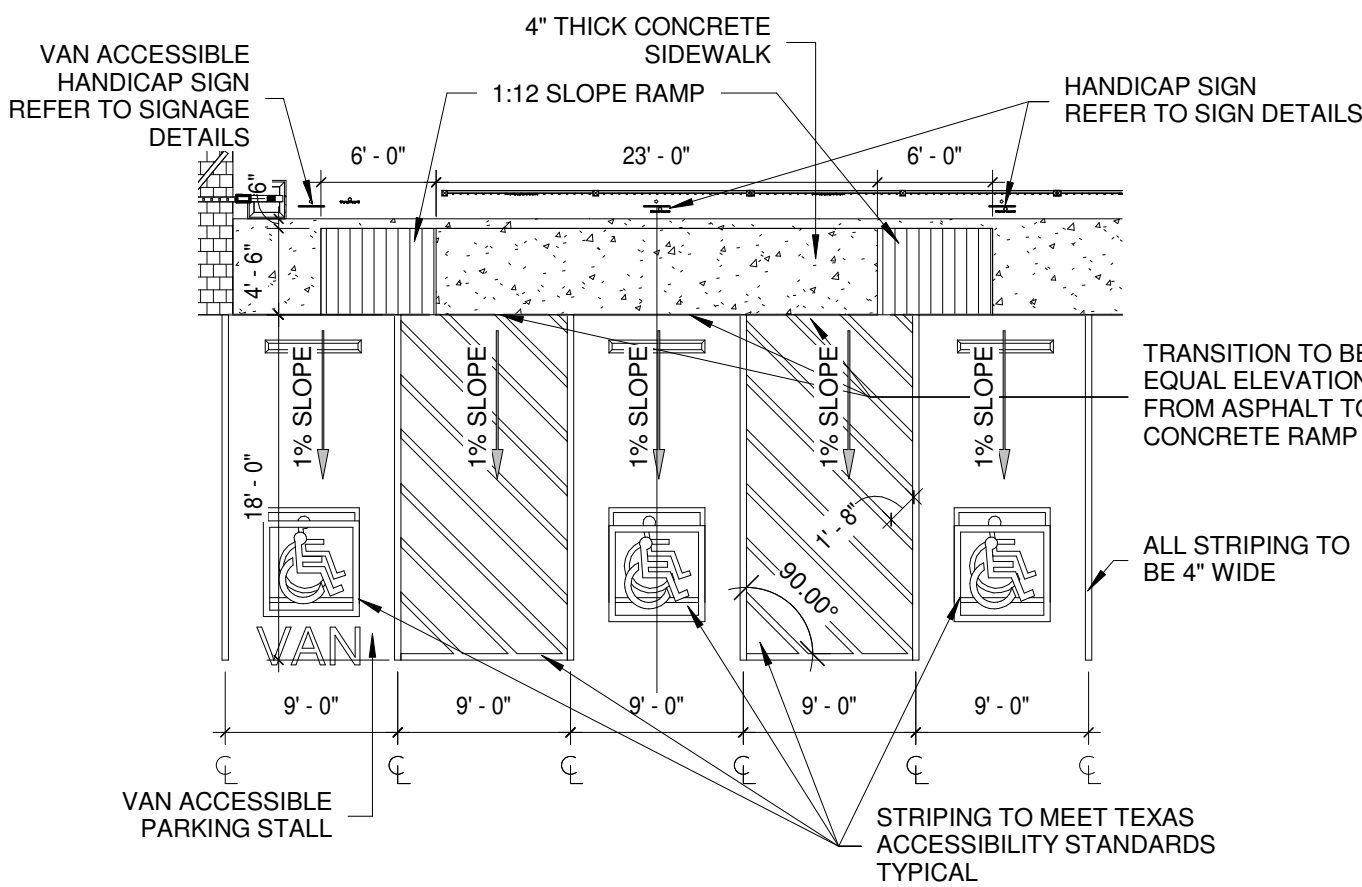
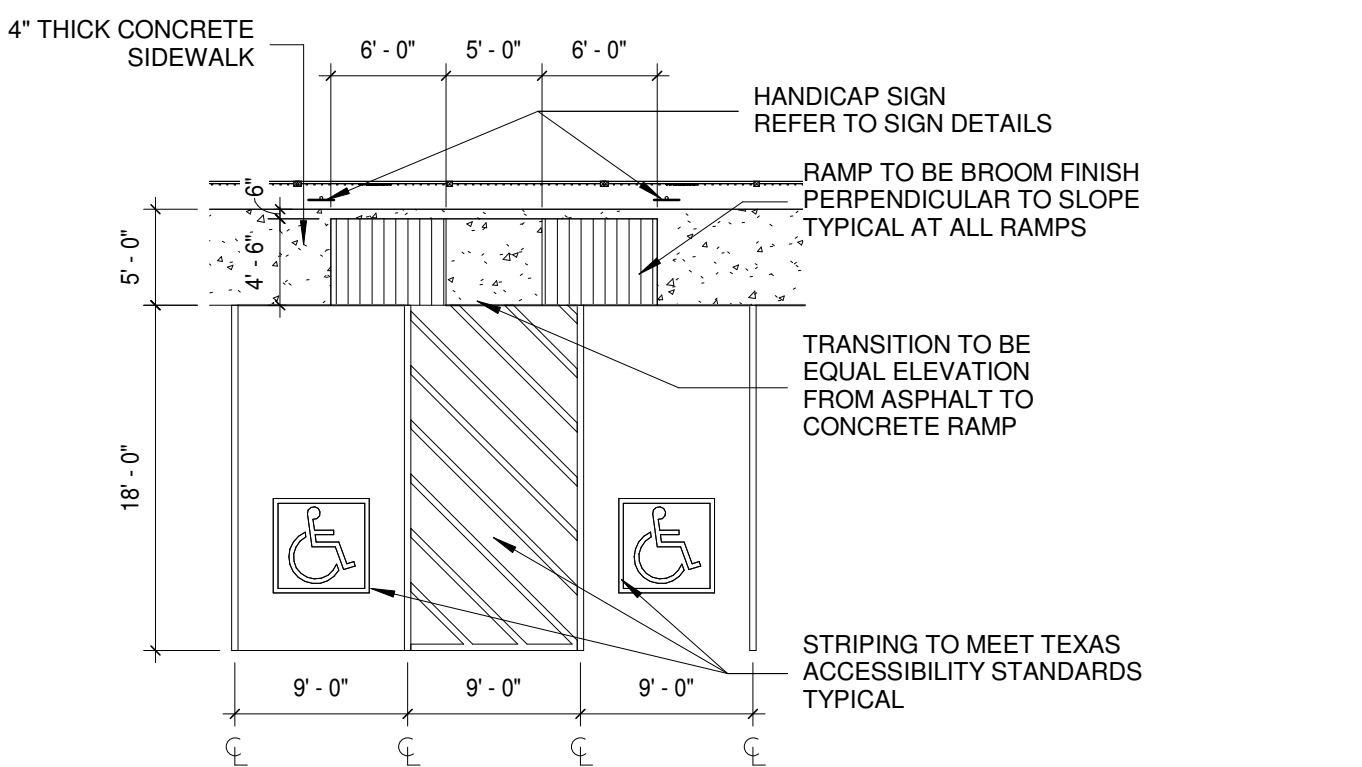
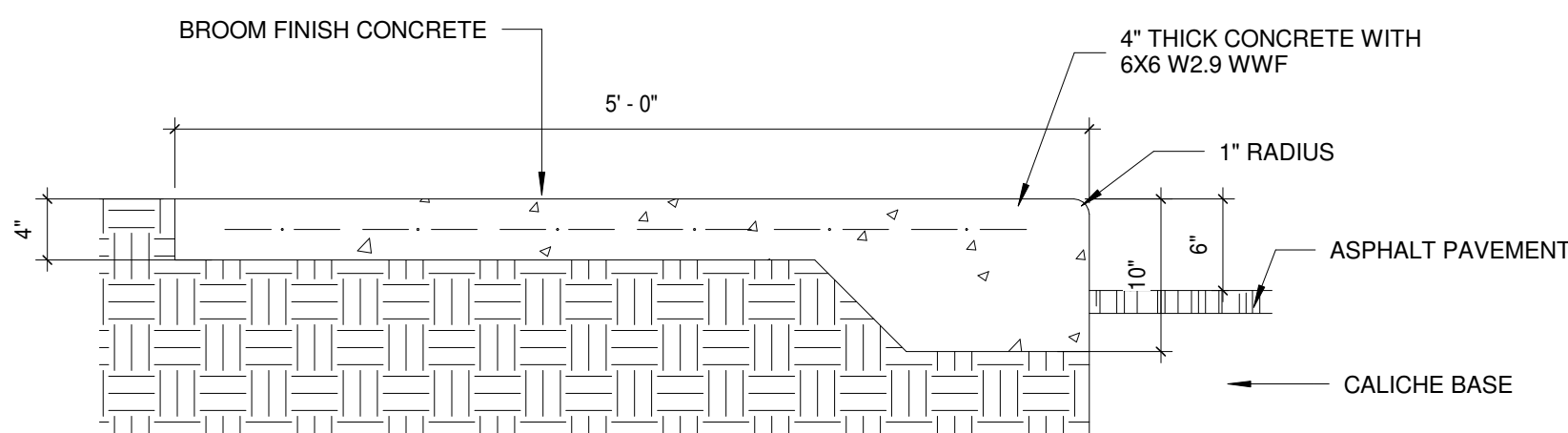
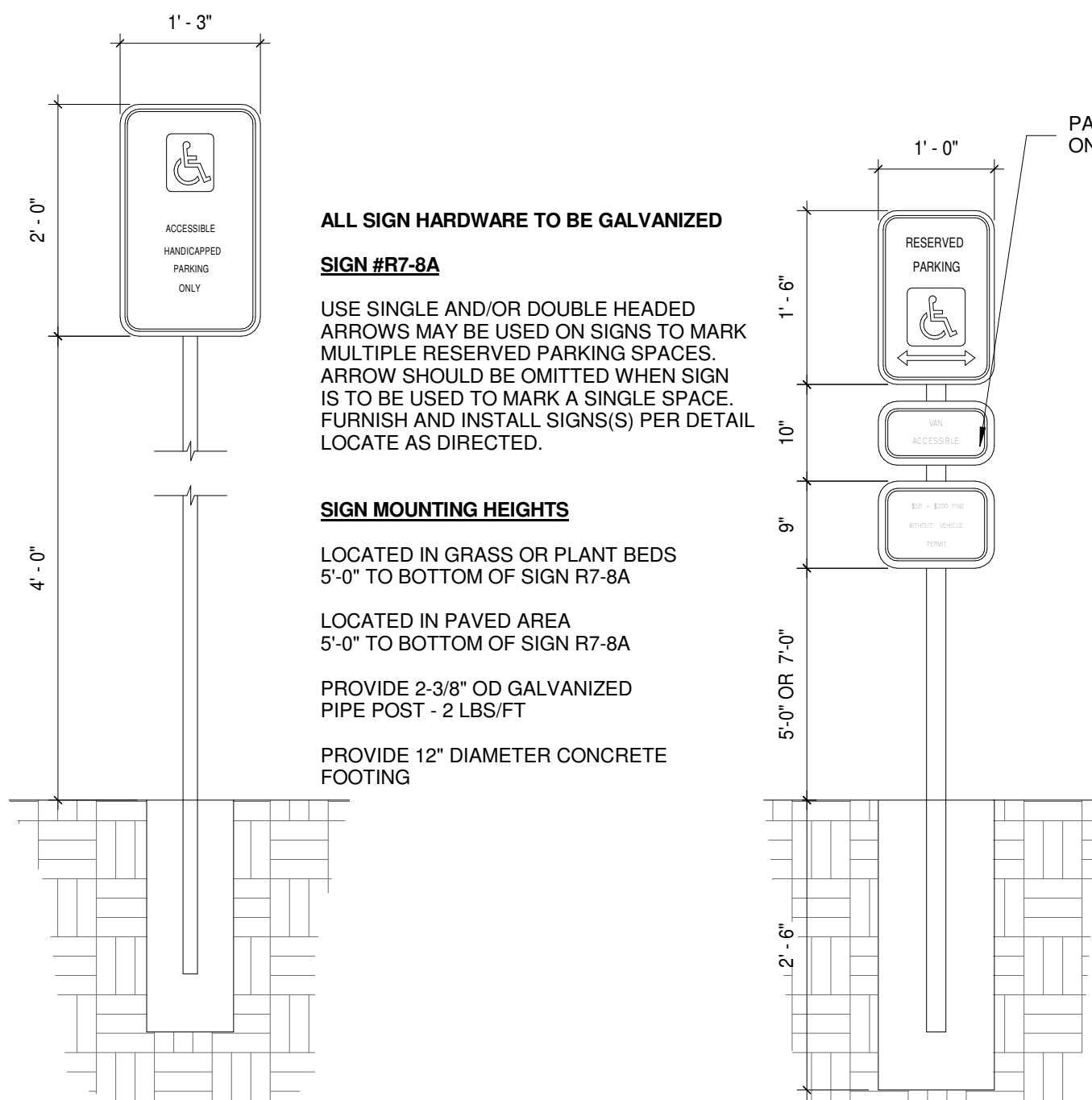
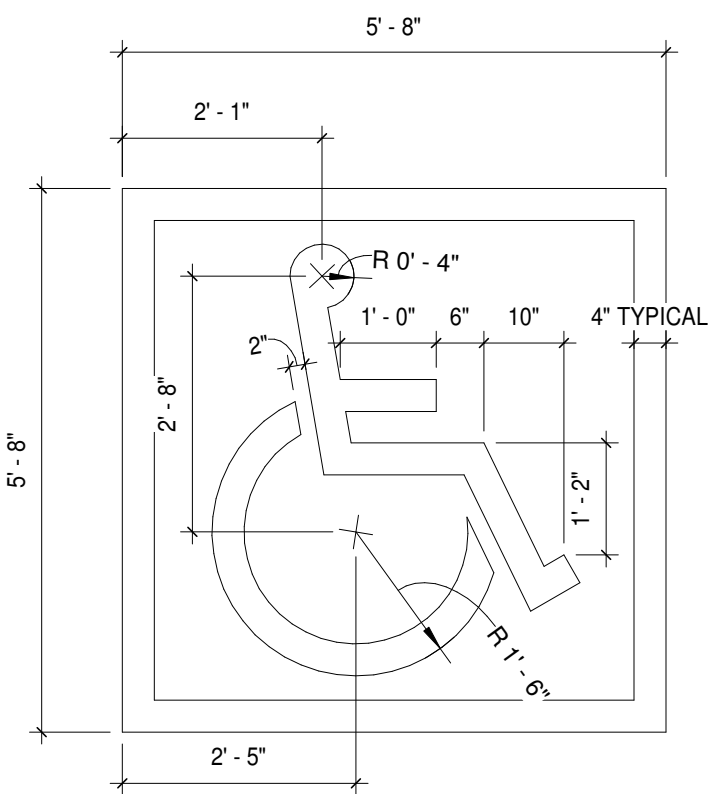
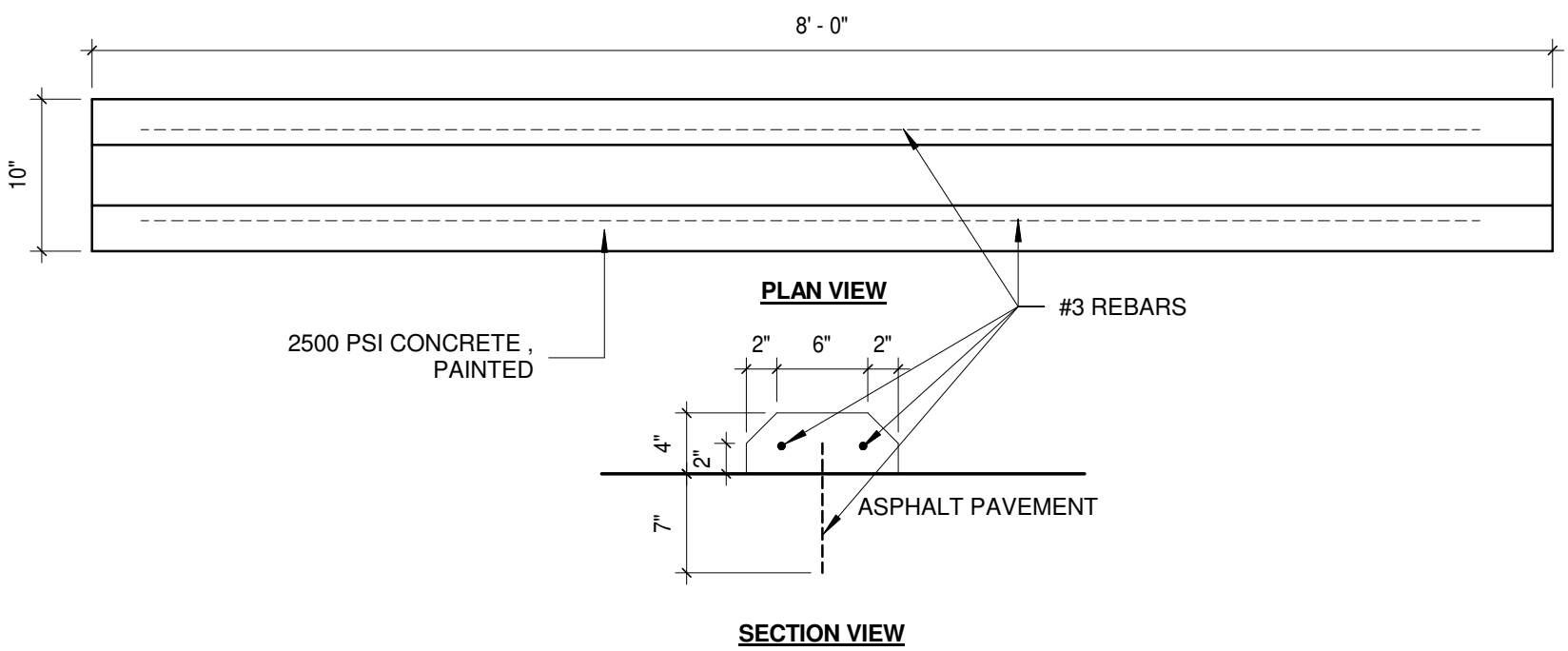
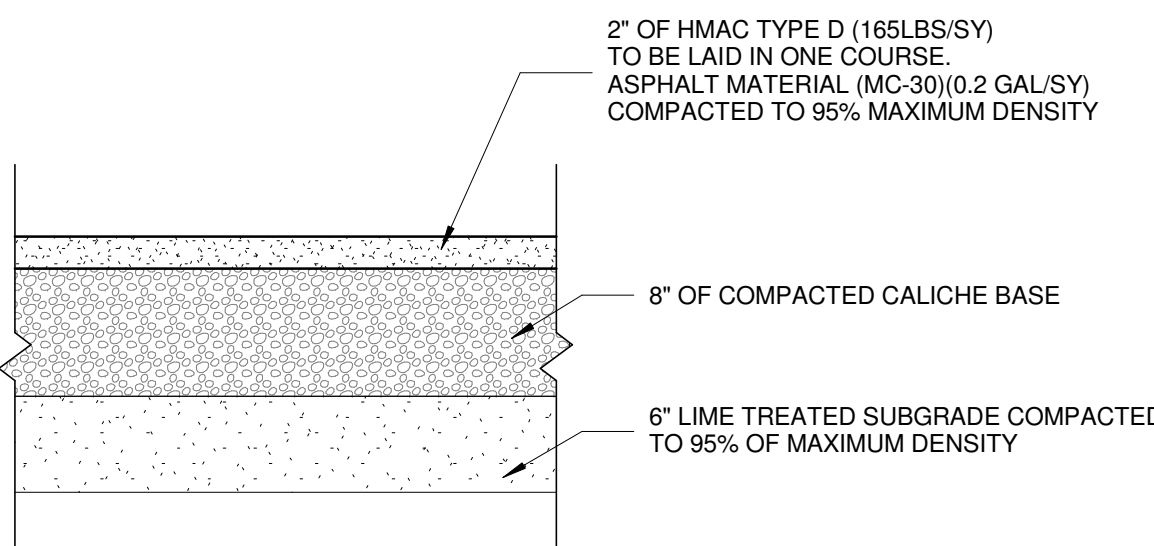


**NOTICE TO CONTRACTOR TEXAS ONE CALL SYSTEM**

AS REQUIRED BY "THE TEXAS UNDERGROUND FACILITY  
DAMAGE PREVENTION AND SAFETY ACT" TEXAS ONE  
CALL SYSTEM MUST BE CONTACTED (800-245-4545)  
AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION  
OPERATIONS PERFORMED. IT IS THE CONTRACTORS  
RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM

**NOTES:**

- DIAGONAL CURB RAMPS, DIAGONAL OR CORNER TYPE CURB RAMPS WITH RETURNED CURBS OR OTHER WELL-DEFINED EDGES SHALL HAVE THE EDGES PARALLEL TO THE DIRECTION OF PEDESTRIAN FLOW. THE BOTTOM OF DIAGONAL CURB RAMPS SHALL HAVE A CLEAR SPACE 48 INCHES (1220 MM) MINIMUM. OUTSIDE ACTIVE TRAVEL LANES OF THE ROADWAY, DIAGONAL CURB RAMPS PROVIDED AT MARKED CROSSINGS SHALL PROVIDE THE 48 INCHES (1220 MM) MINIMUM CLEAR SPACE WITHIN THE MARKINGS. DIAGONAL CURB RAMPS WITH FLARED SIDES SHALL HAVE A SEGMENT OF CURB 24 INCHES (610 MM) LONG MINIMUM LOCATED ON EACH SIDE OF THE CURB RAMP AND WITHIN THE MARKED CROSSING.
- WHERE PROVIDED CURB RAMP FLARES SHALL NOT BE STEEPER THAN 1:10.
- LANDINGS SHALL BE PROVIDED AT THE TOPS OF CURB RAMPS. THE LANDING CLEAR LENGTH SHALL BE 36 INCHES (915 MM) MINIMUM. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING.
- CONTRAST. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.
- PLATFORM EDGES. DETECTABLE WARNING SURFACES AT PLATFORM BOARDING EDGES SHALL BE 24 INCHES (610 MM) WIDE AND SHALL EXTEND THE FULL LENGTH OF THE PUBLIC USE AREAS OF THE PLATFORM.
- SLOPE. RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12.
- CROSS SLOPE. CROSS SLOPE OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:48.
- CLEAR WIDTH. THE CLEAR WIDTH OF A RAMP RUN AND, WHERE HANDRAILS ARE PROVIDED, THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36 INCHES (915 MM) MINIMUM.
- RISE. THE RISE FOR ANY RAMP RUN SHALL BE 30 INCHES (760 MM) MAXIMUM.
- LANDINGS. RAMPS SHALL HAVE LANDINGS AT THE TOP AND THE BOTTOM OF EACH RAMP RUN.
- SLOPE. LANDINGS SHALL HAVE SLOPE NO STEEPER THAN 1:48. CHANGES IN LEVEL ARE NOT PERMITTED.
- WIDTH. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING.
- LENGTH. THE LANDING CLEAR LENGTH SHALL BE 60 INCHES (1525 MM) LONG MINIMUM.
- CHANGE IN DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING 60 INCHES (1525 MM) MINIMUM BY 60 INCHES (1525 MM) MINIMUM.
- THE NO PARKING SIGN SHALL BE INSTALLED LIKE THE HANDICAP SIGN. ALL DIMENSIONS SHALL BE OBTAINED FROM THE HANDICAP SIGN DIMENSIONS.
- MARKINGS FOR STREET SHALL BE ACCORDING TO LOCAL CODE REQUIREMENTS AND AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

$$1/16'' = 1'-0''$$

$$1'' = 10'-0''$$

$$1'' = 10'-0''$$

$$1'' = 1'-0''$$

$$\frac{3}{4}'' = 1'-0''$$

$$1/2'' = 1'-0'$$

$$1'' = 1'-0''$$

$$1'' = 1'-0''$$





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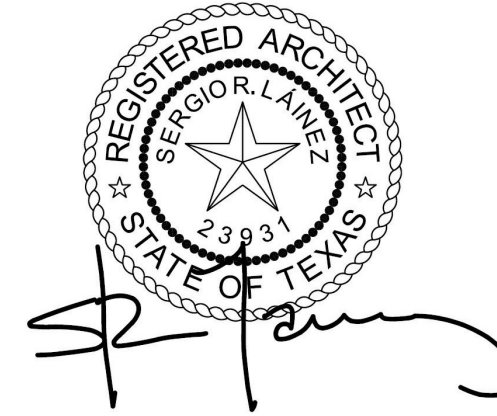
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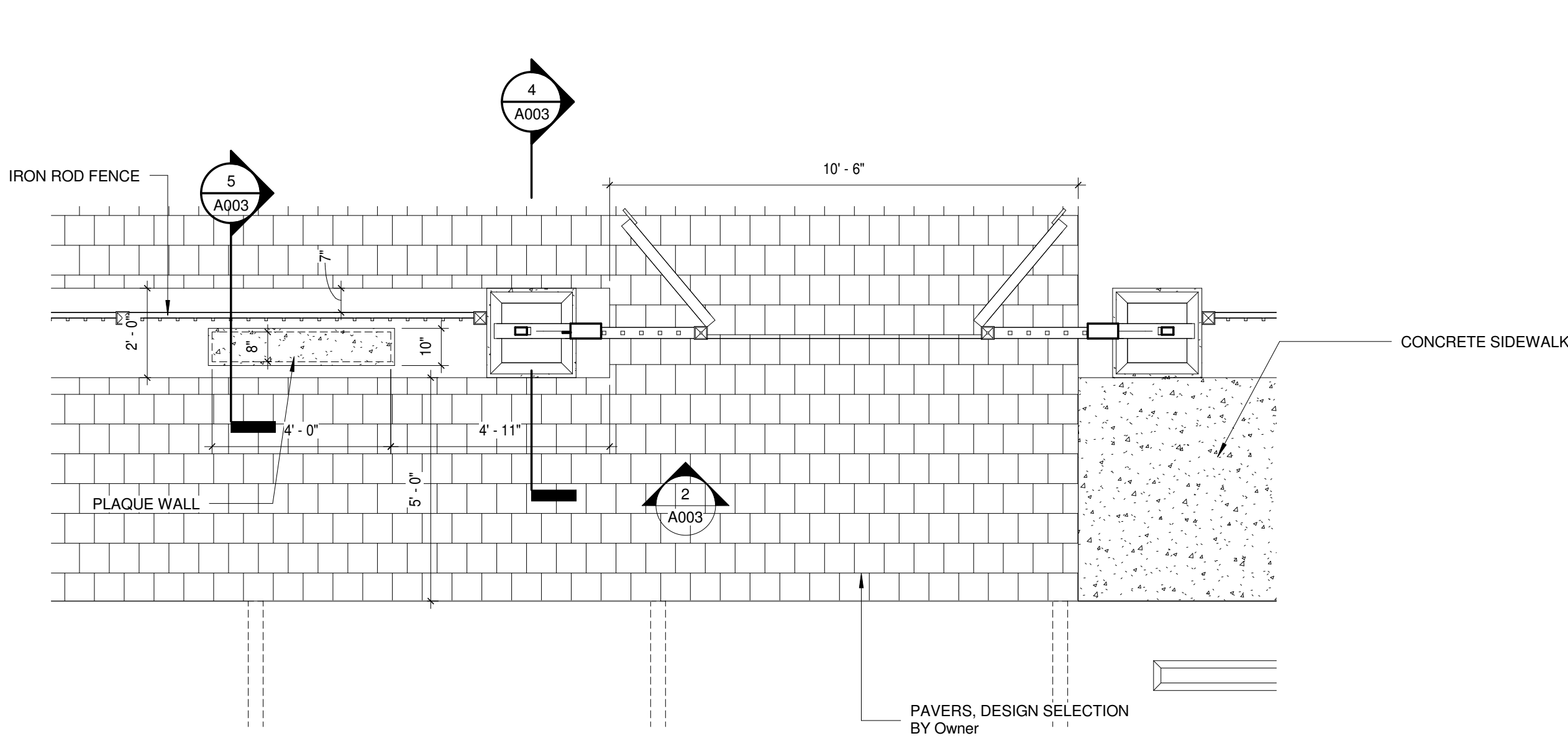
ENTRANCE, ROD  
FENCE, AND PLAQUE  
DETAIL

A003

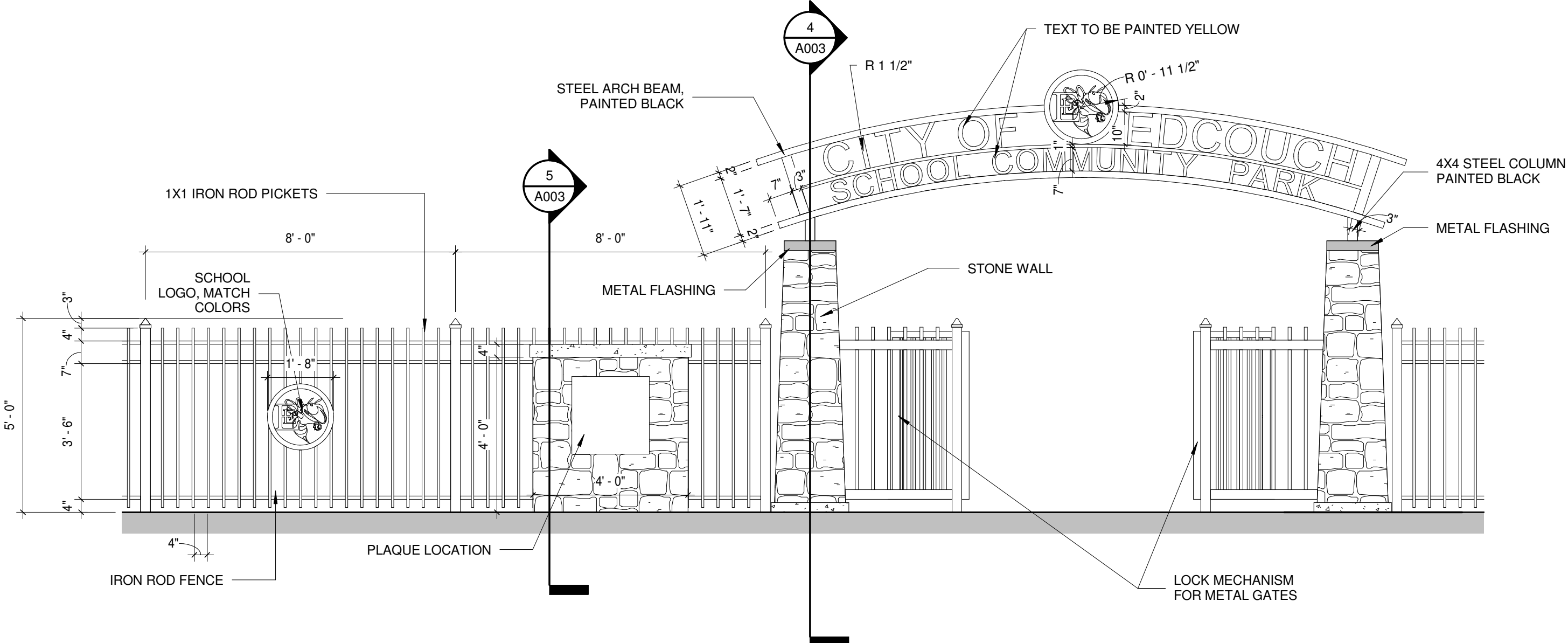
D

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C



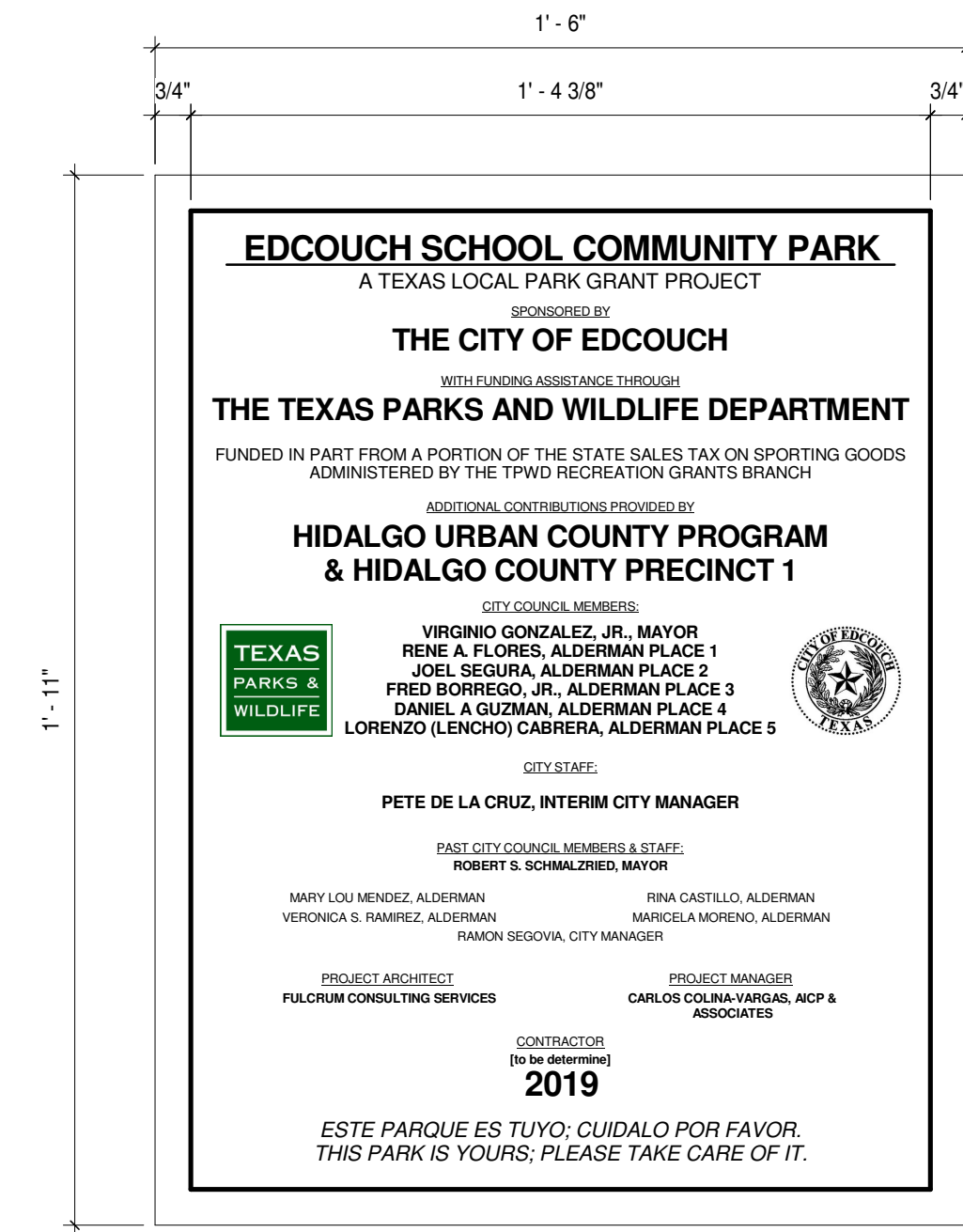
1 ENTRANCE PLAN VIEW  
3/8" = 1'-0"



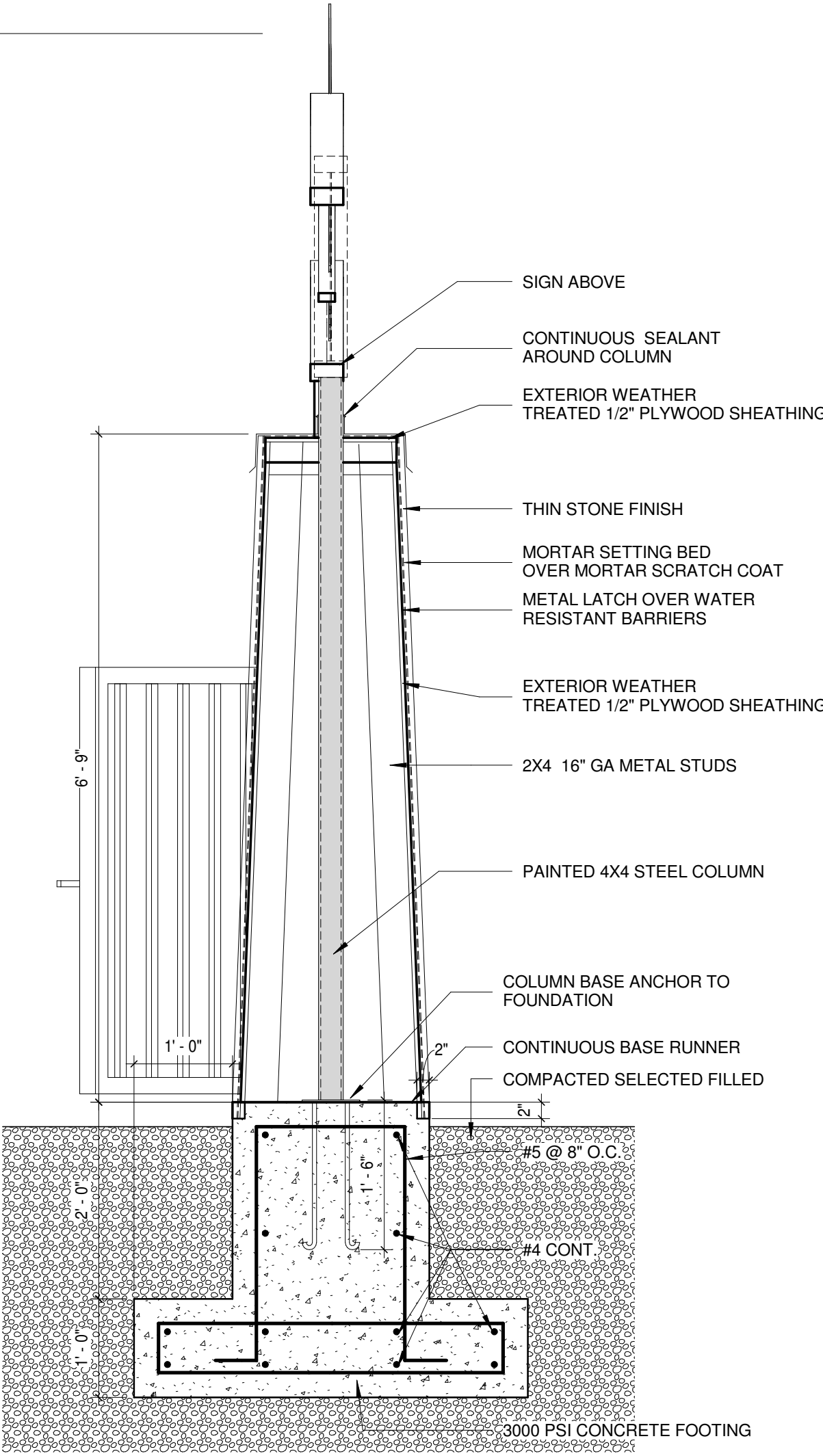
2 FRONT GATE ELEVATION  
3/8" = 1'-0"

B

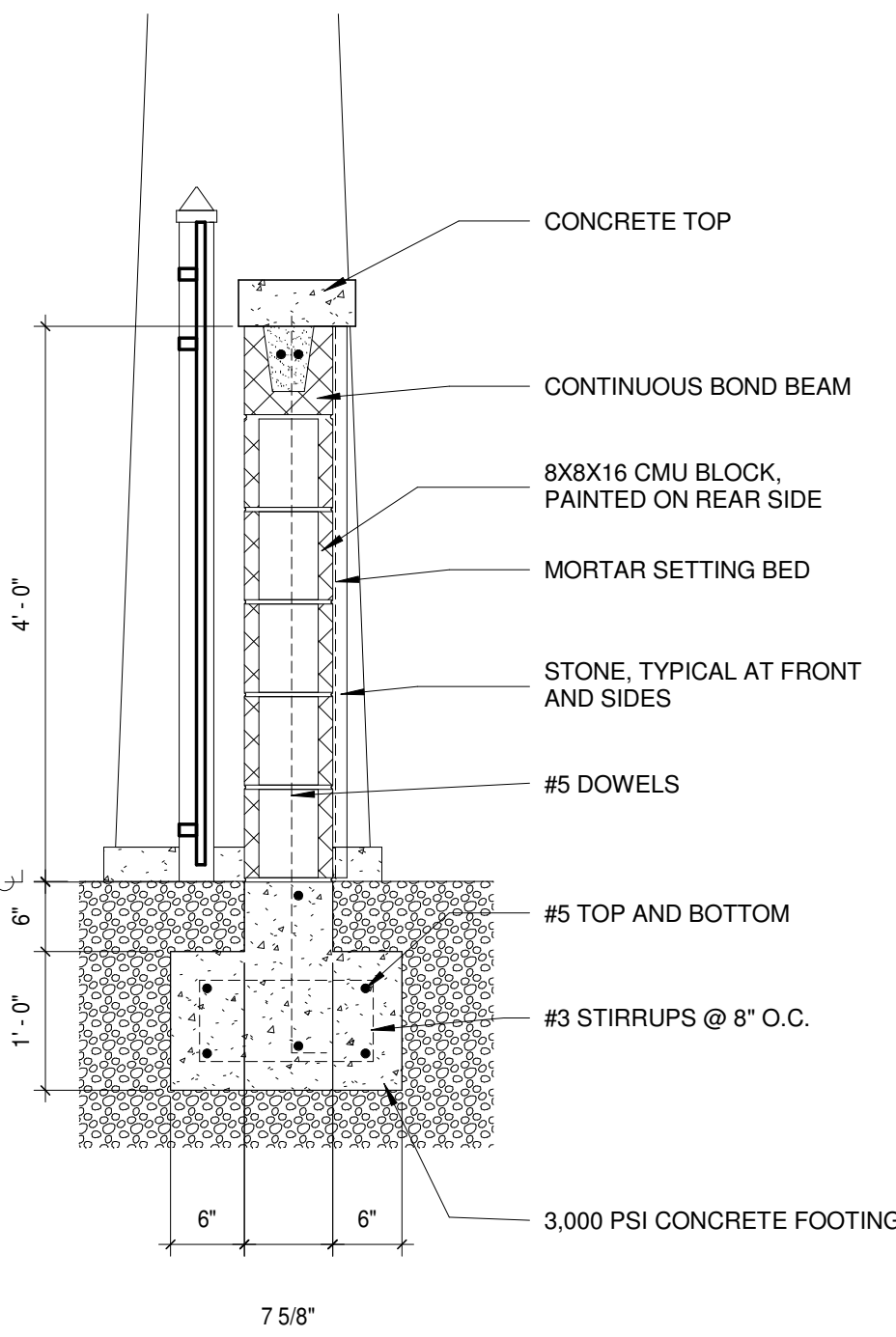
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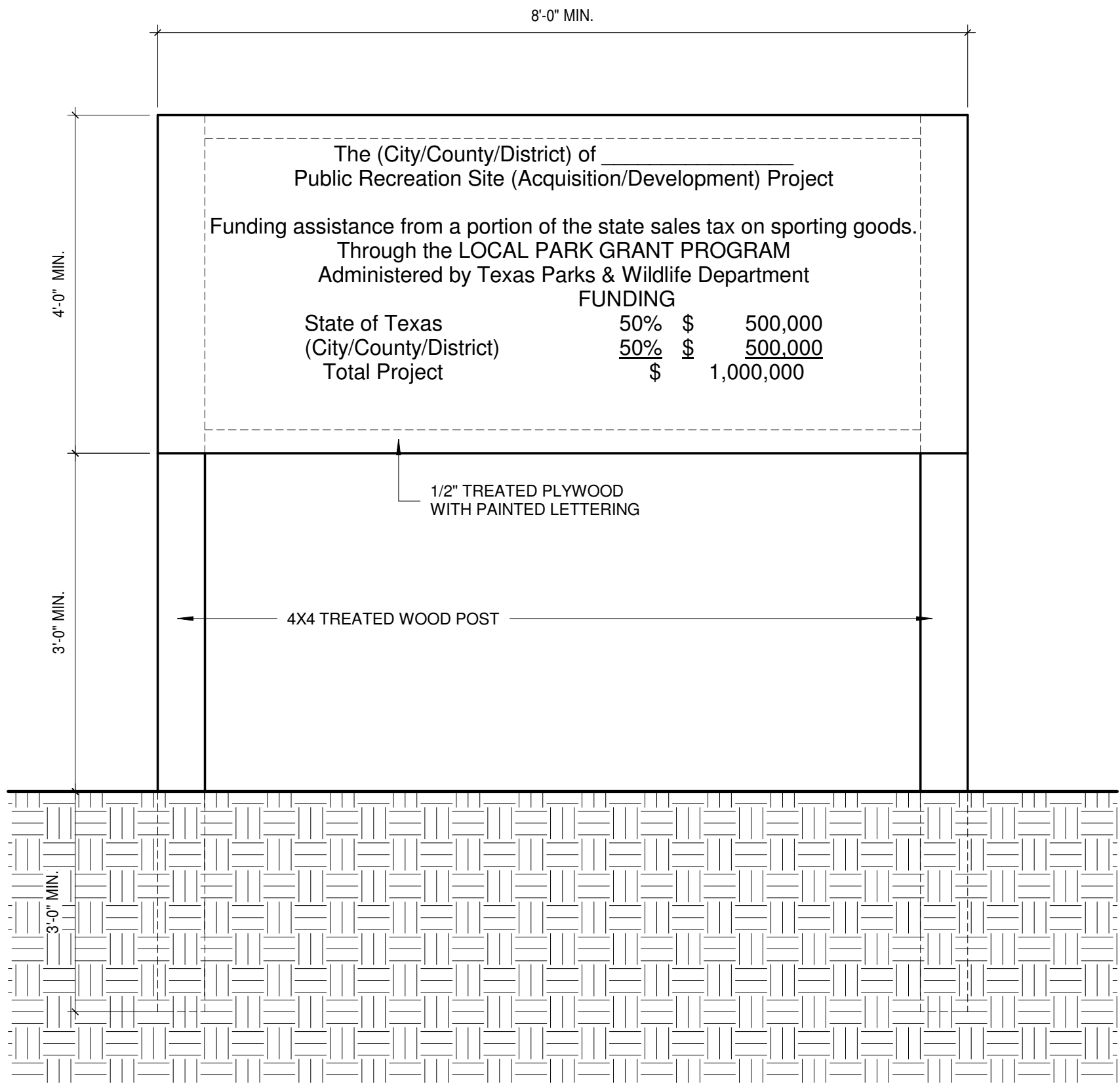
3 PLAQUE, PERMANENT  
3" = 1'-0"



4 WALL SECTION  
3/4" = 1'-0"



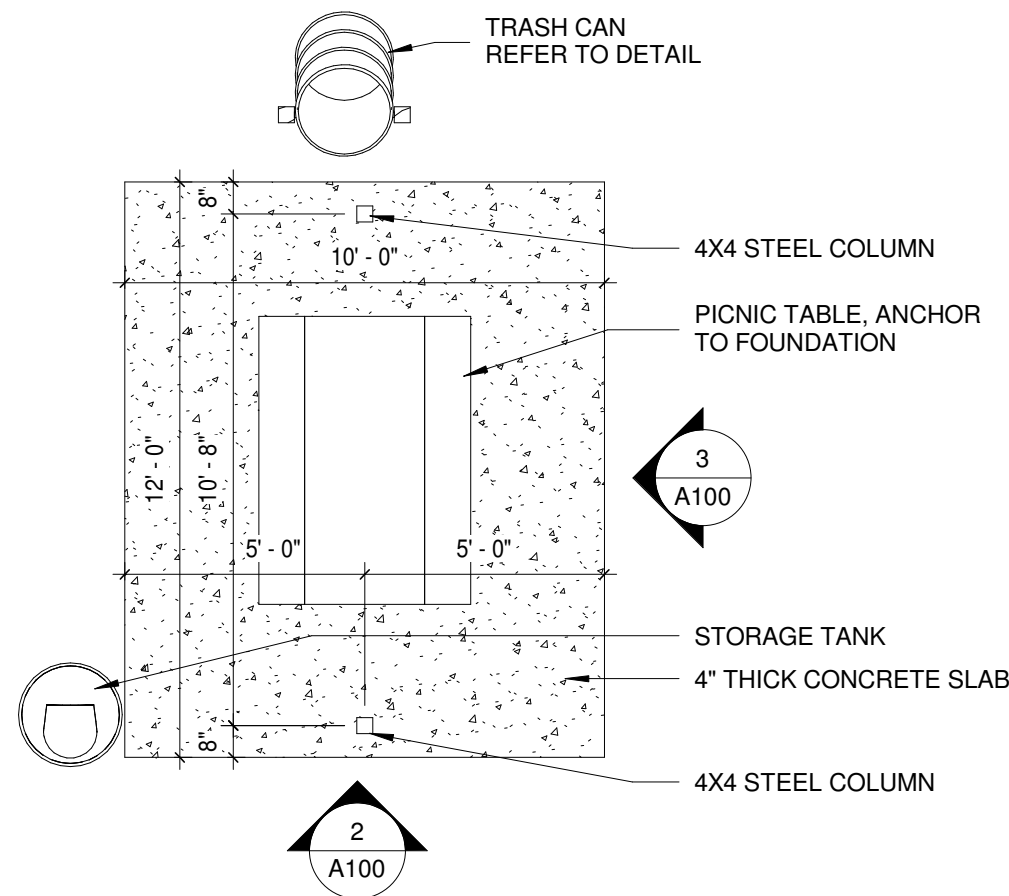
5 PLAQUE SECTION  
3/4" = 1'-0"



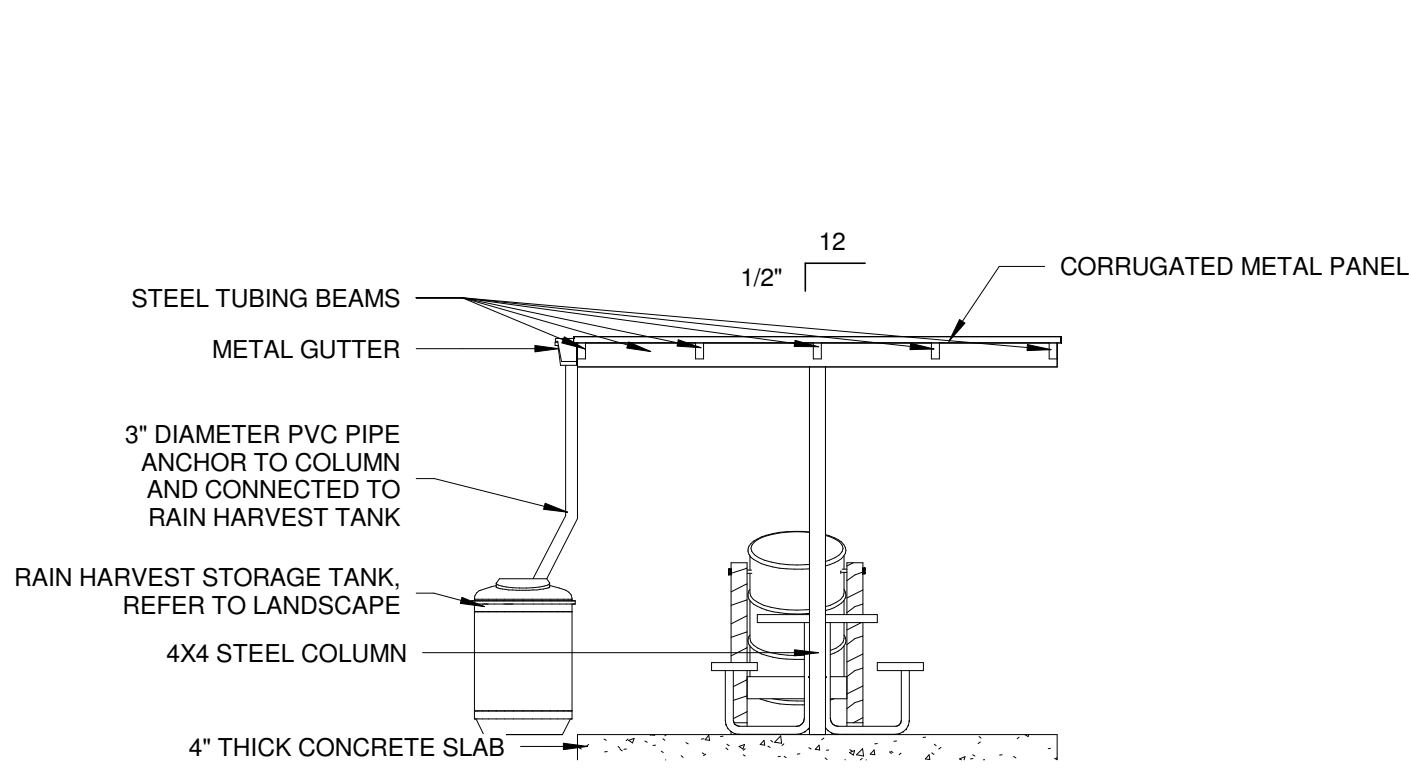
6 TEMPORARY SIGN  
3" = 1'-0"



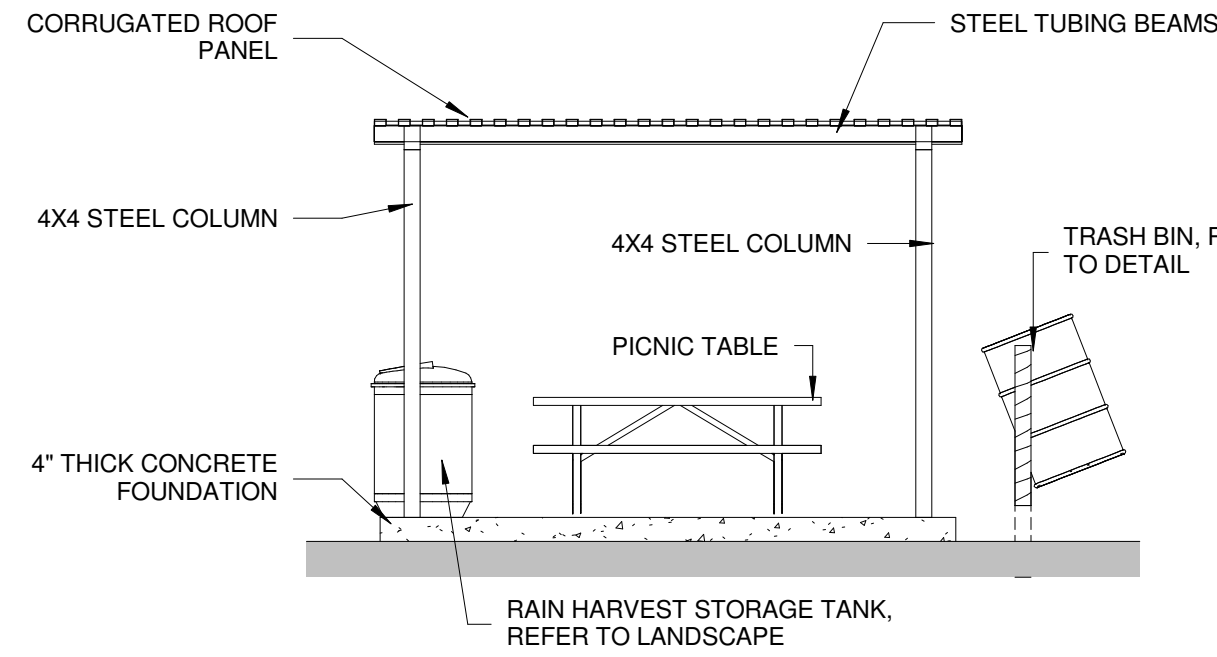
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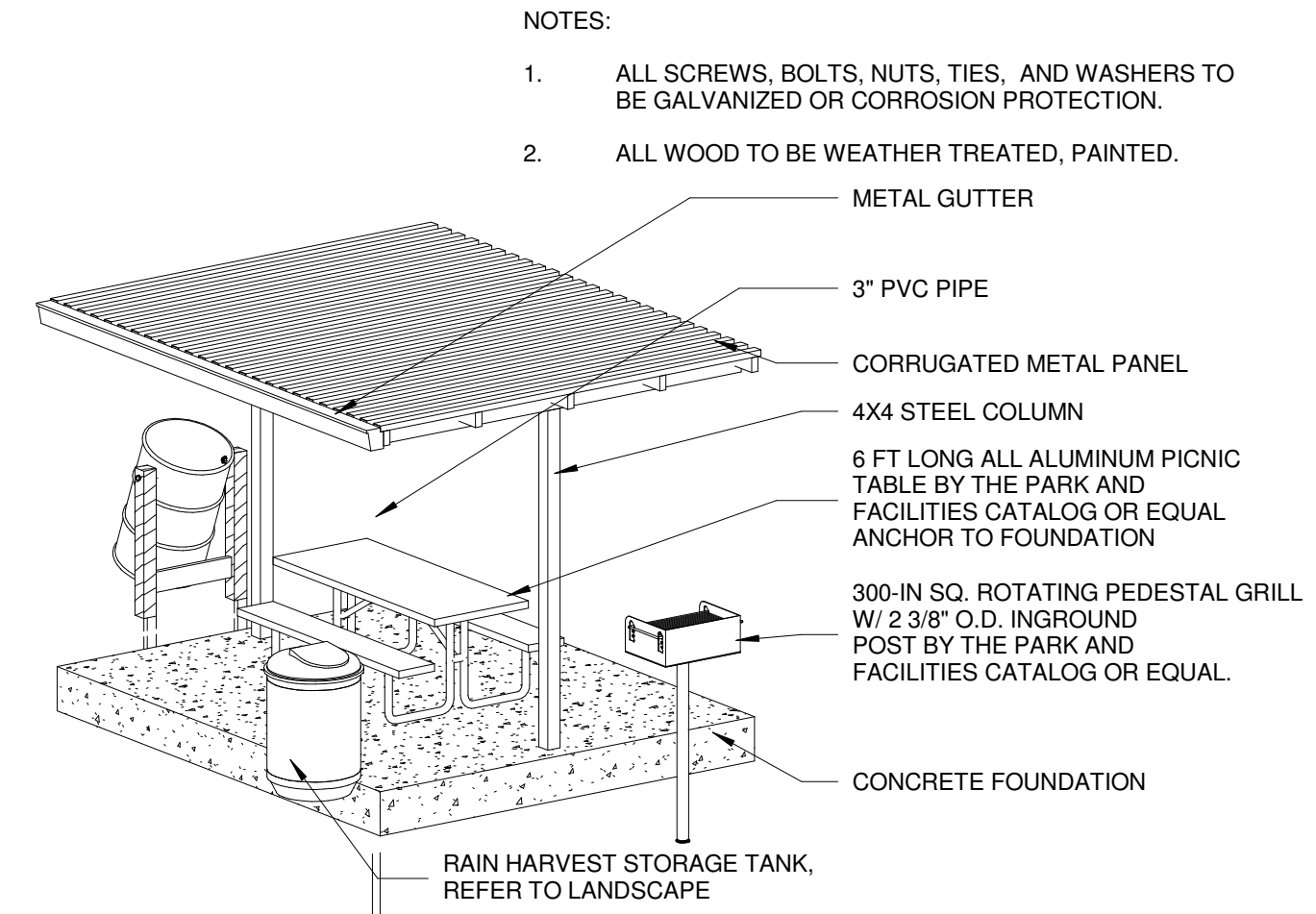
1 PICNIC TABLE PLAN VIEW  
1/4" = 1'-0"



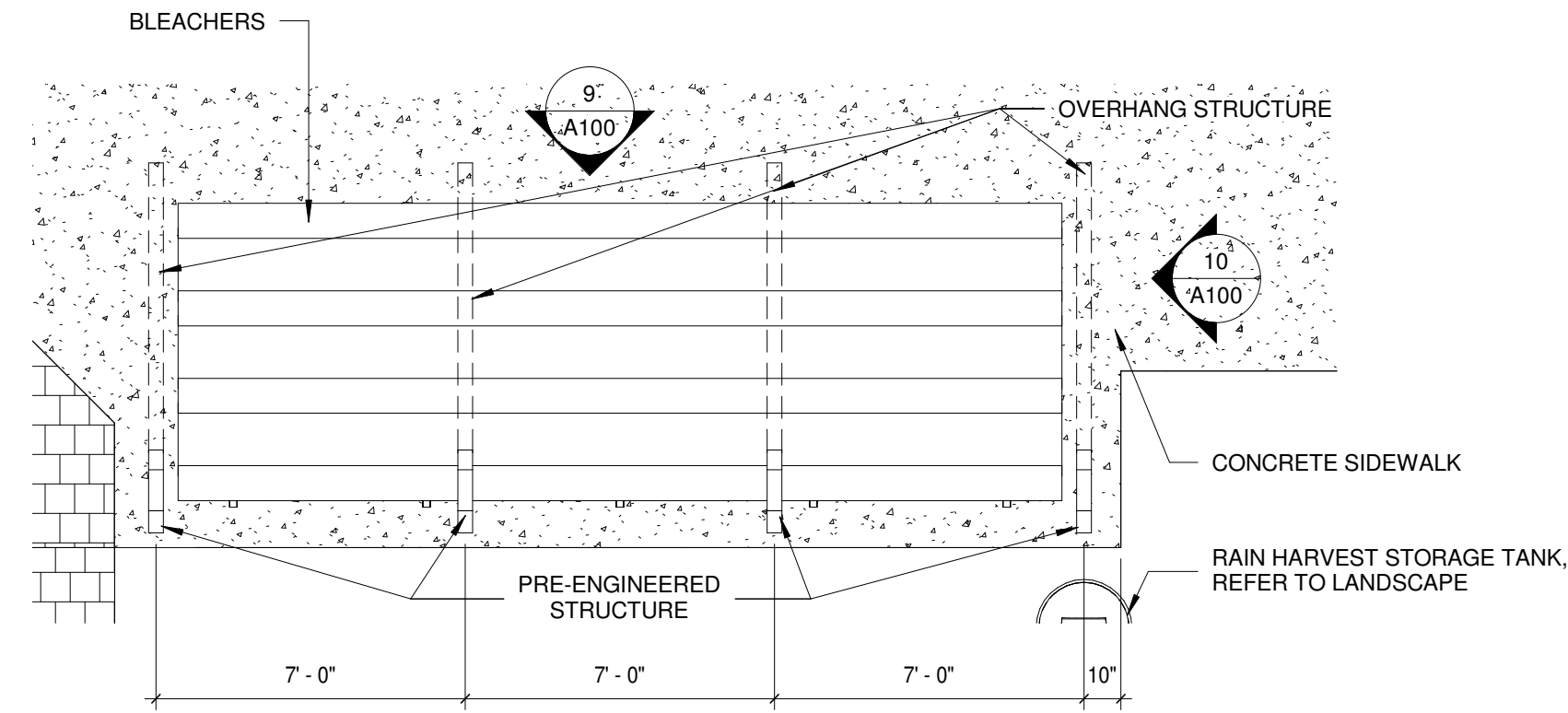
2 ELEVATION 1  
1/4" = 1'-0"



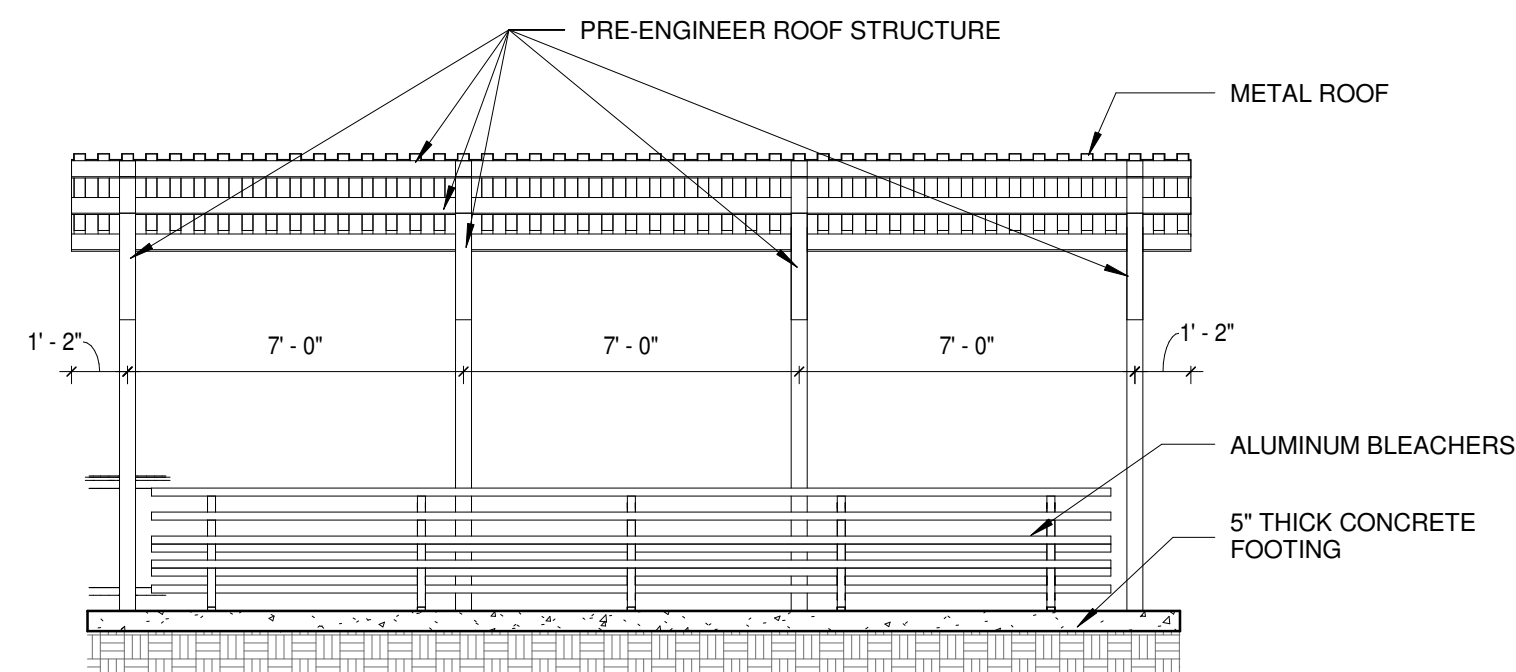
3 ELEVATION 2  
1/4" = 1'-0"



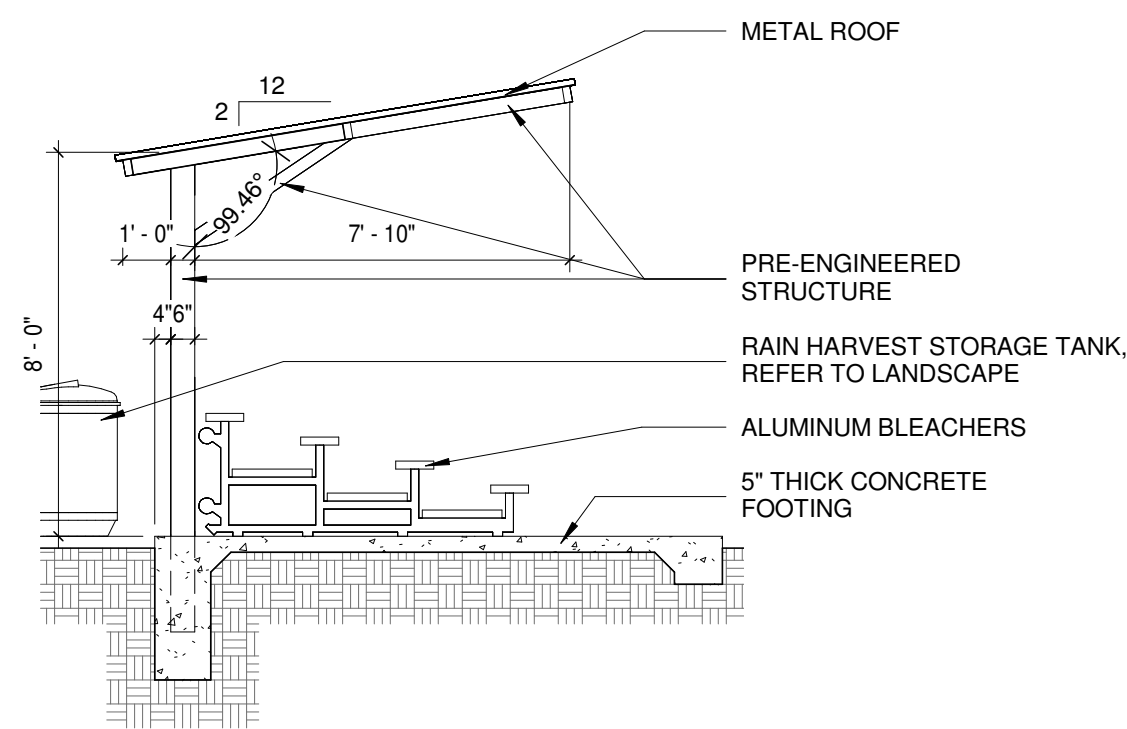
4 PICNIC 3D VIEW



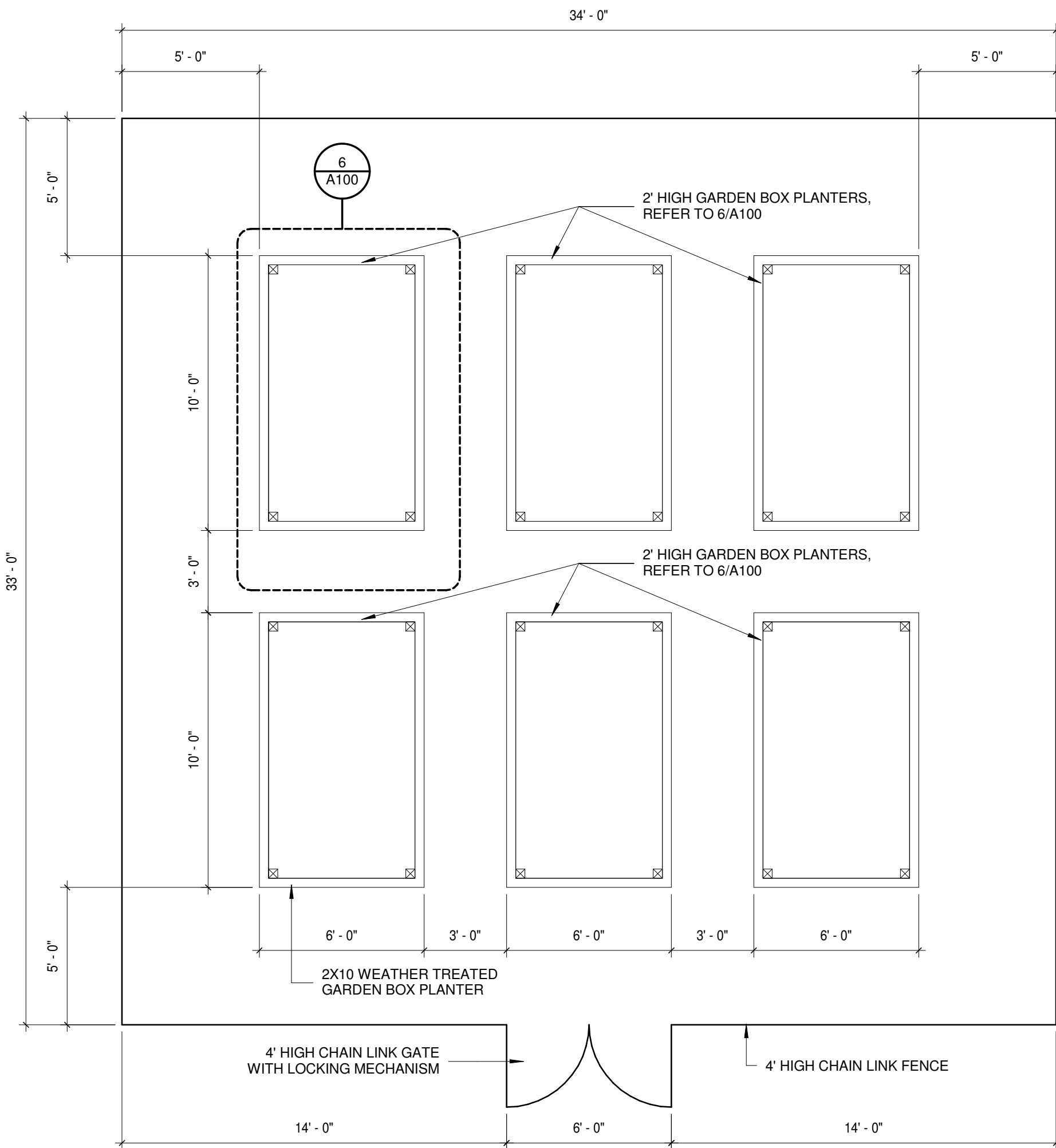
8 BASEBALL BLEACHER CANOPY PLAN  
1/4" = 1'-0"



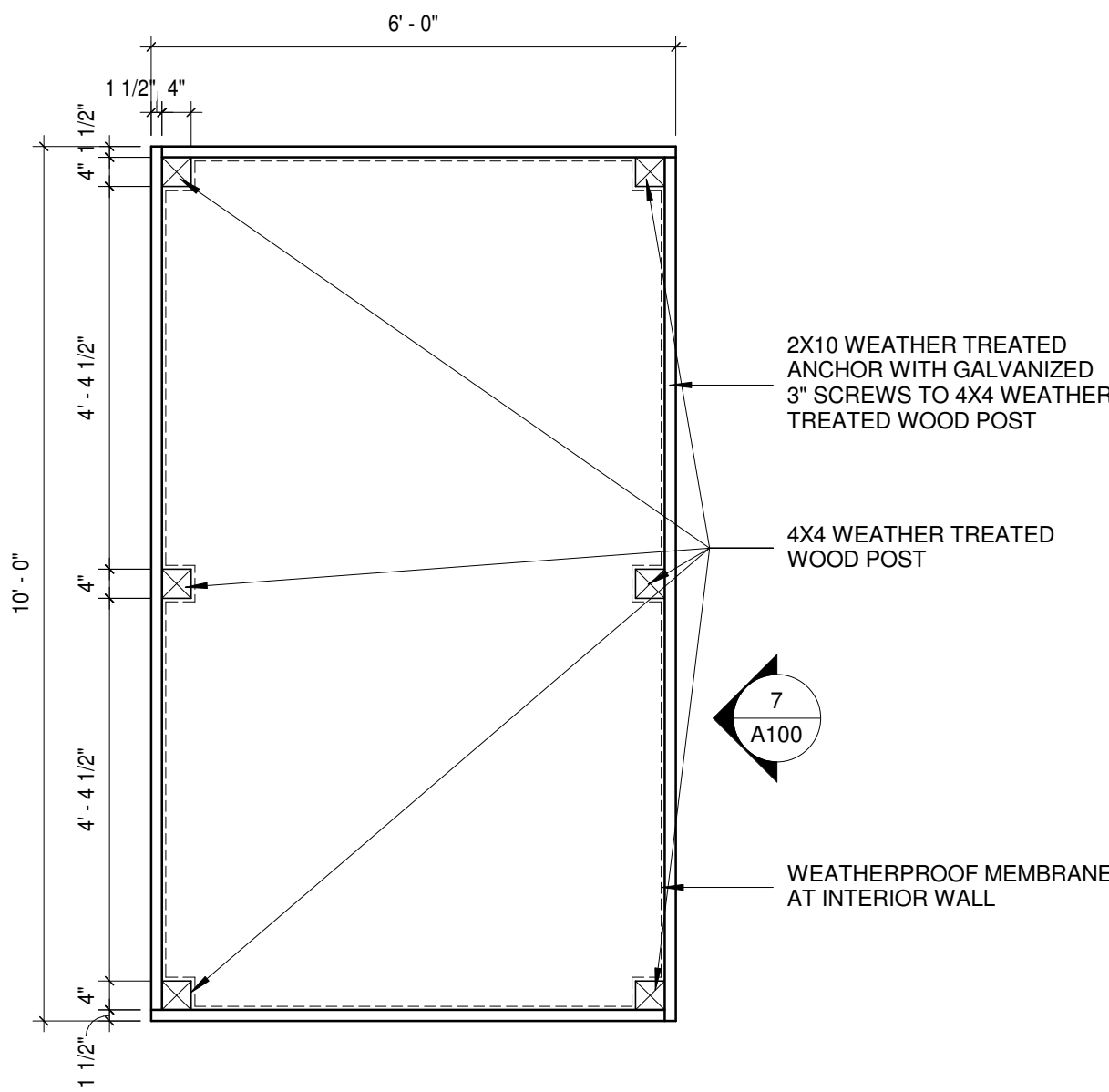
9 BASEBALL BLEACHER CANOPY FRONT VIEW  
1/4" = 1'-0"



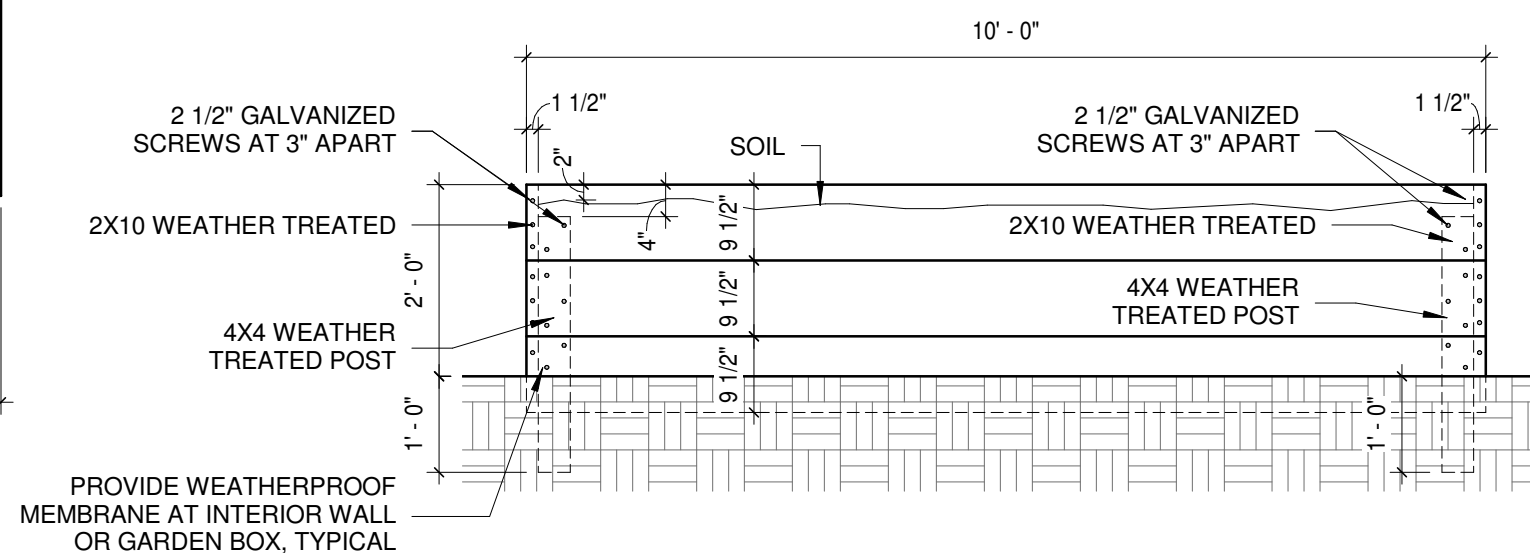
10 BASEBALL BLEACHER CANOPY SIDE VIEW  
1/4" = 1'-0"



5 GARDEN BOX PLANTER  
1/4" = 1'-0"



6 GARDEN BOX PLANTER PLAN VIEW  
1/2" = 1'-0"



7 GARDEN BOX ELEVATION  
1/2" = 1'-0"



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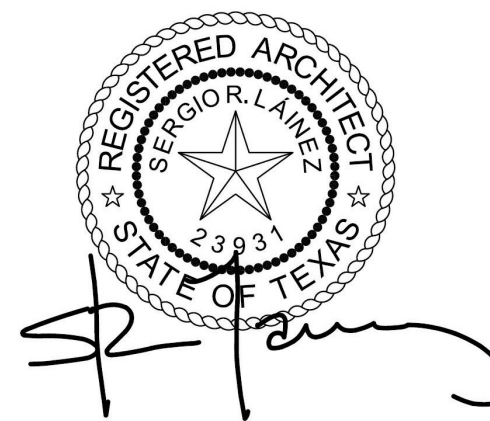
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ENLARGED PLAN

A100





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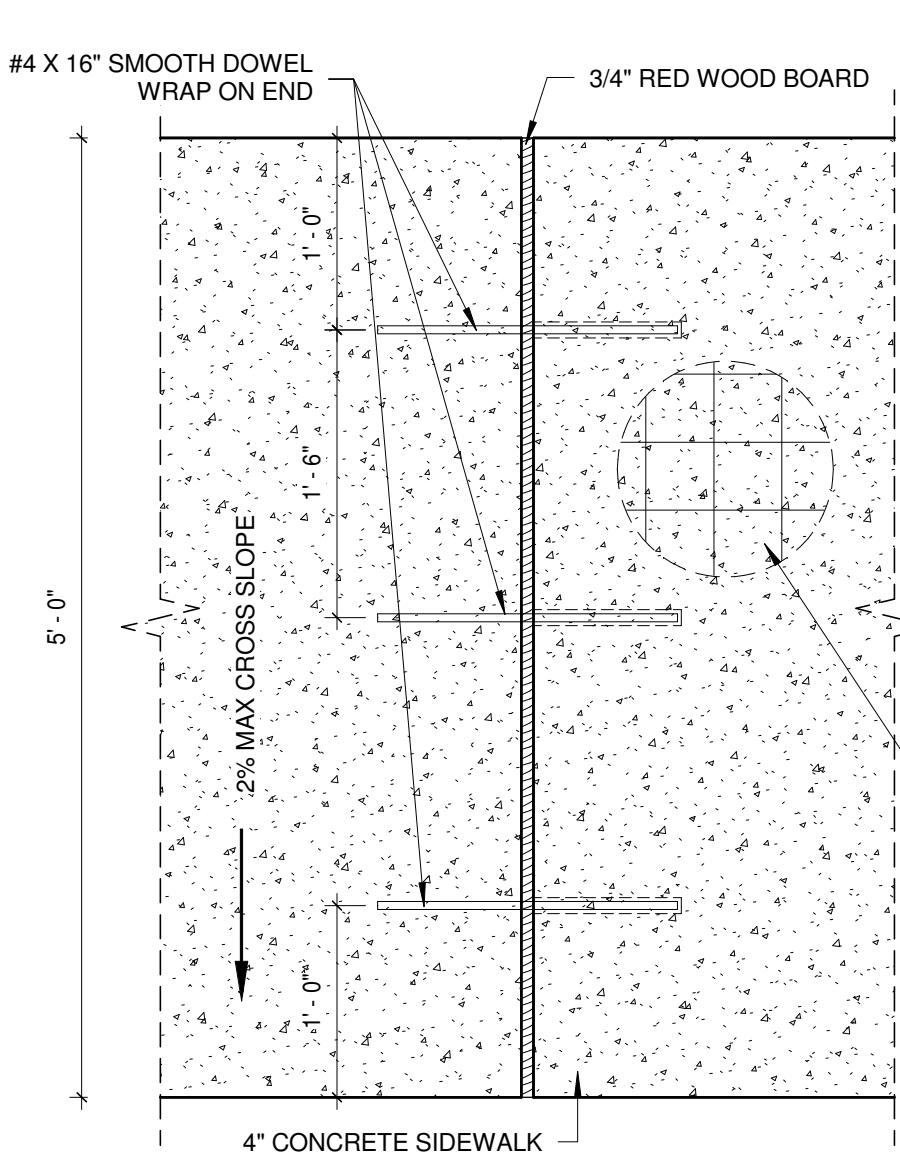
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ENLARGED PLAN

A101



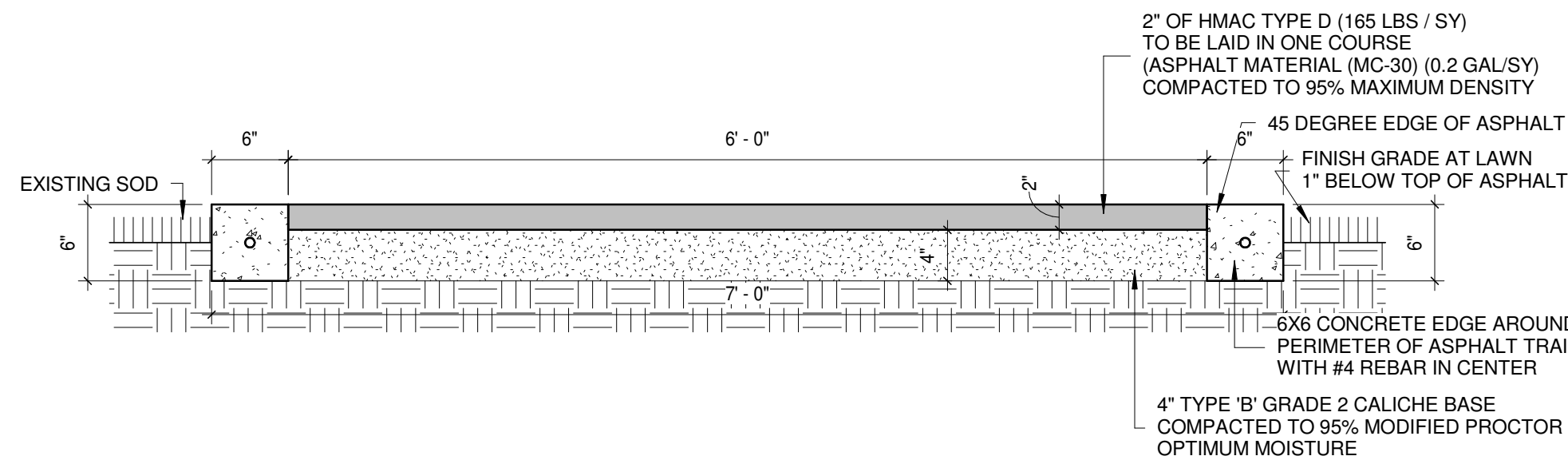




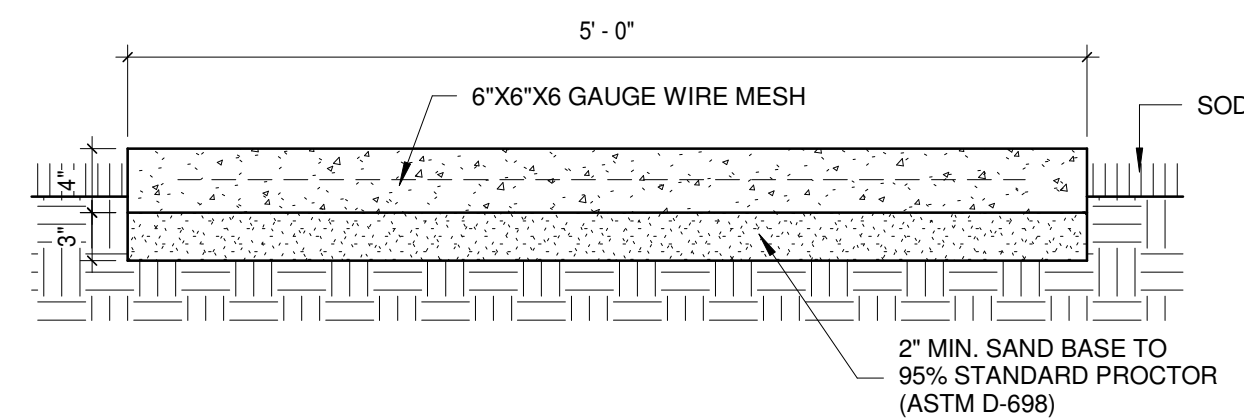
1 SIDEWALK PLAN VIEW  
1" = 1'-0"

- NOTE:
1. EXPANSION JOIST SHALL BE PROVIDED AT MAXIMUM 40 FT. INTERVALS
  2. CONTROL JOINTS TO 1" DEEP, SHALL BE TOOLED INTO SIDEWALK AT MAXIMUM SPACING OF 5 FT.
  3. CONCRETE SHALL BE 3000 PSI AND SHOULD CONTAIN 1.5 POUNDS OF FIBERMESH PER CUBIC YARD.
  4. ADA GUIDELINES SHALL GOVERN FOR THE CONSTRUCTION OF THE SIDEWALK.
  5. TOOLED RADIUS ON ALL EDGES.
  6. ALL EXPOSED CONCRETE SURFACES, (SIDEWALK, CONCRETE PAVEMENTS, ETC.) SHALL BE TREATED WITH CURING COMPOUND, RESIN ASTM C 309, TYPE 2 WITH PIGMENTED TINT OF FUGITIVE DYE.
  7. WHEN CONNECTING TO EXISTING SIDEWALK OR BUILDING, THE CONTRACTOR SHALL DRILL AND DOWEL TWO No. 4X12" TIE BARS A MINIMUM OF 6" DEEP INTO EXISTING CONCRETE

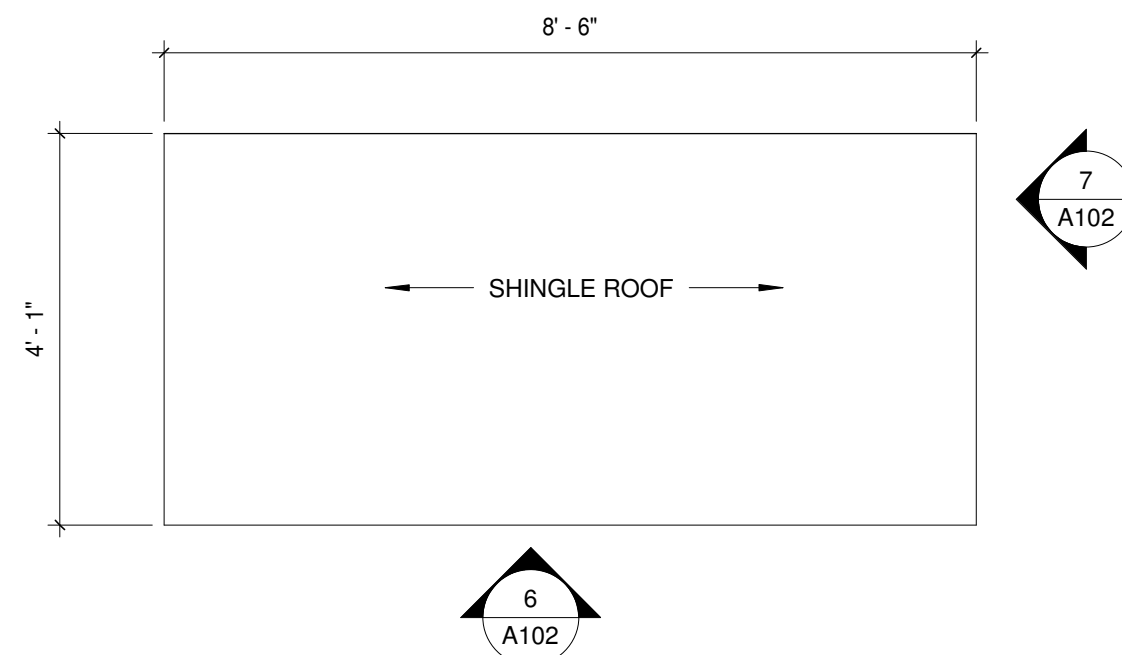
6"x6"x6 GAUGE WIRE MESH



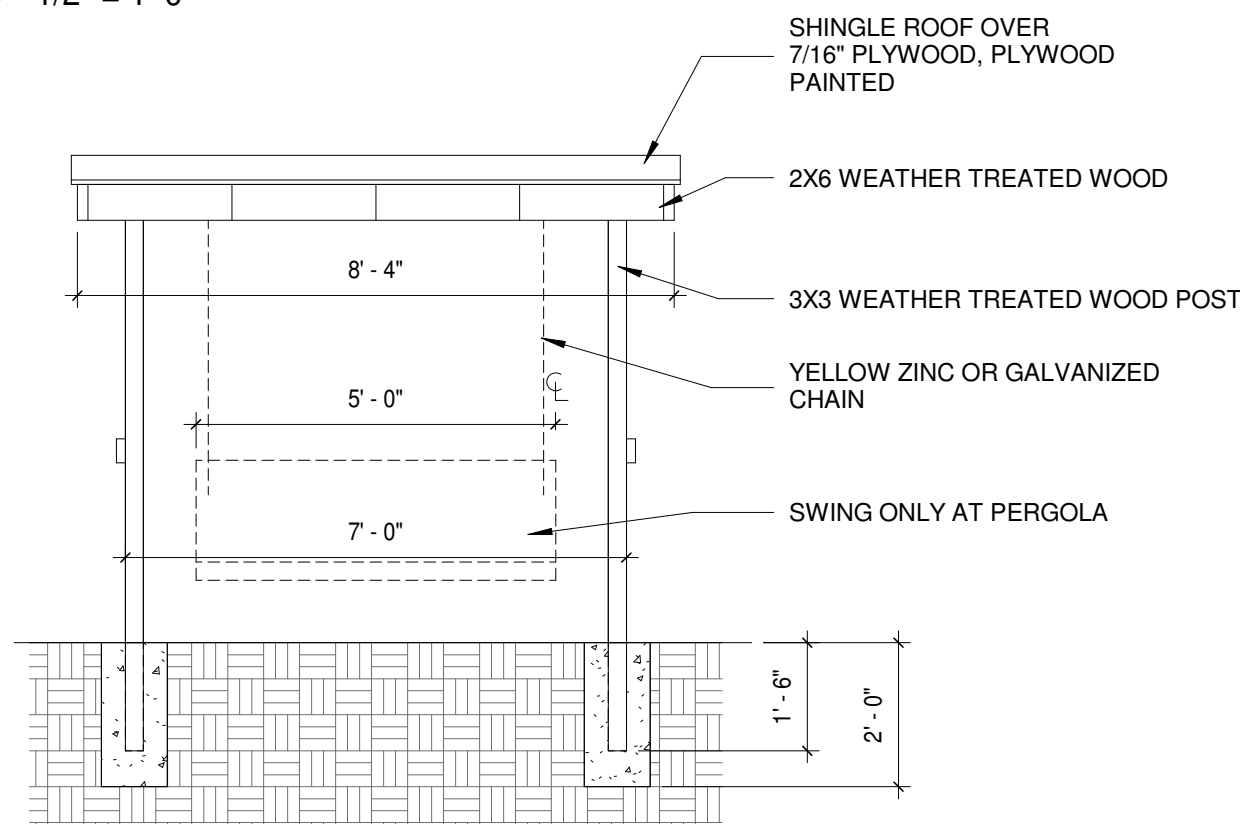
2 ASPHALT PAVEMENT  
1" = 1'-0"



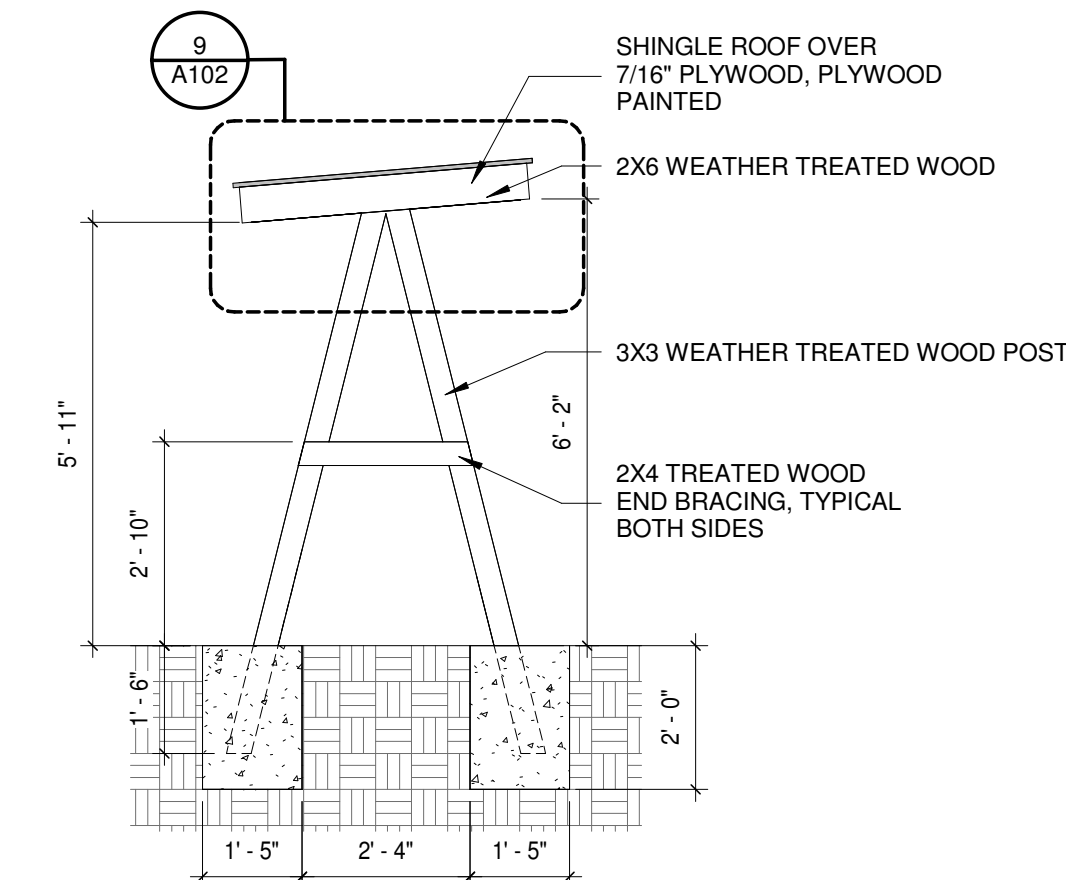
3 SIDEWALK SECTION  
1" = 1'-0"



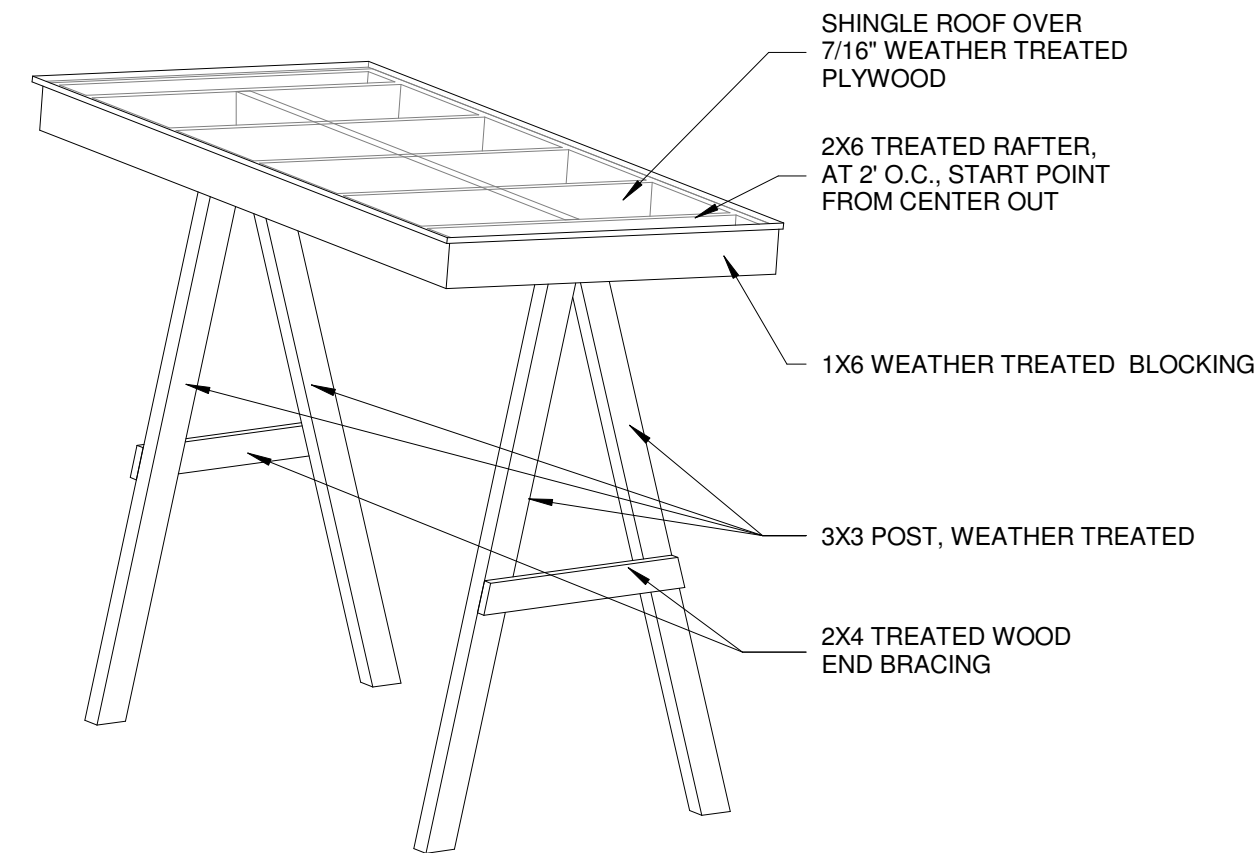
5 SHELTER BENCH/PERGOLA/ADULT SWING  
1/2" = 1'-0"



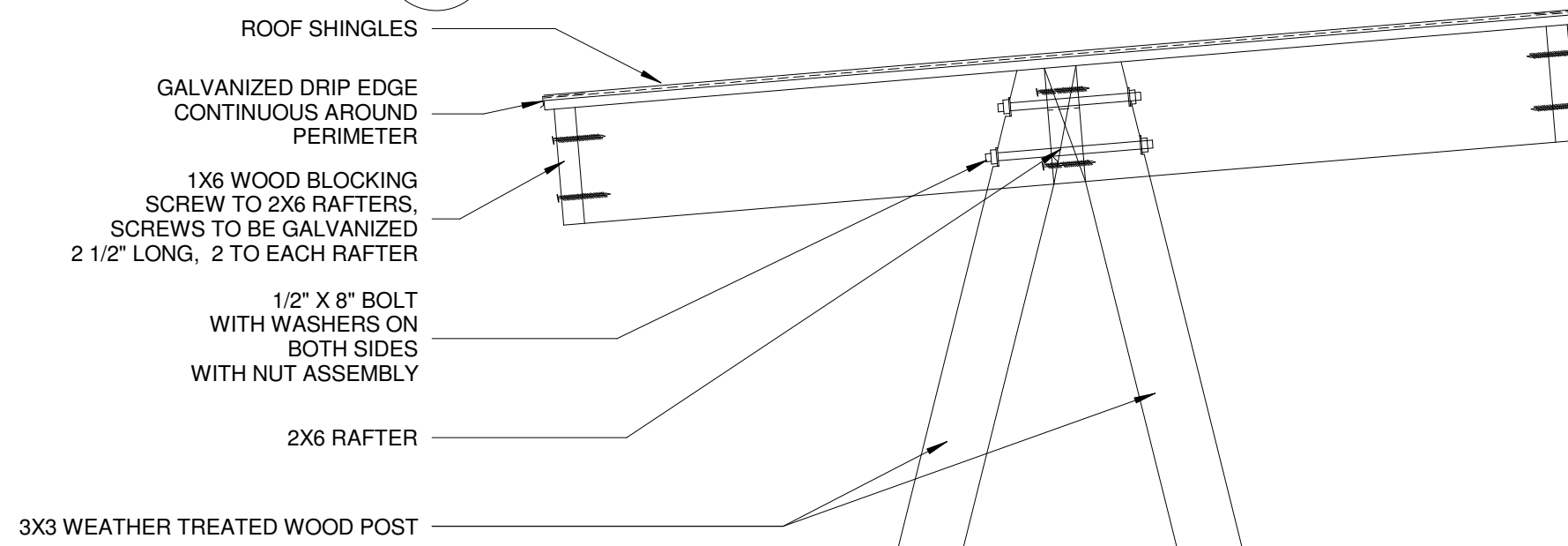
6 SHELTER BENCH ELEVATION 1  
3/8" = 1'-0"



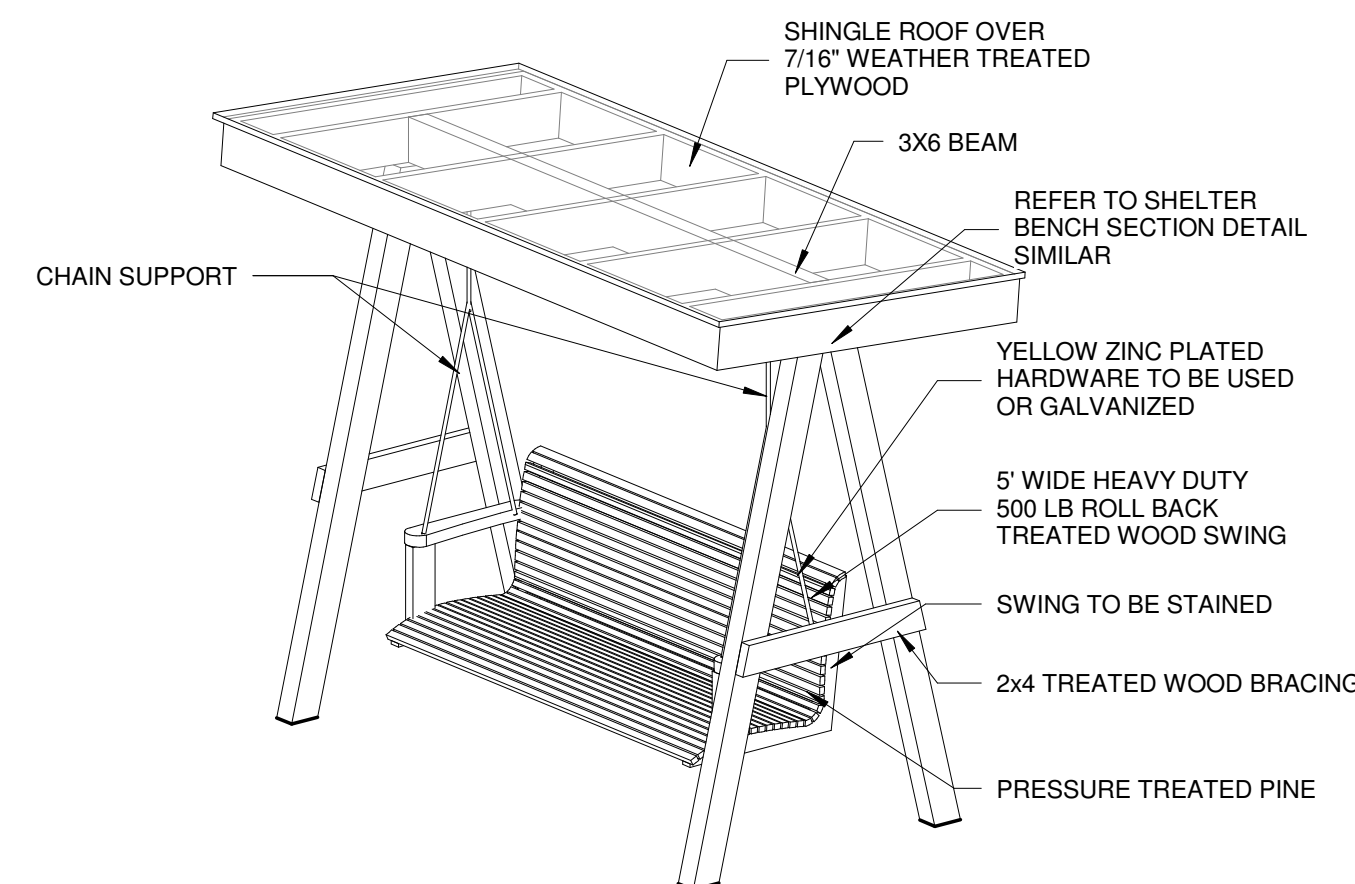
7 SHELTER BENCH ELEVATION 2  
3/8" = 1'-0"



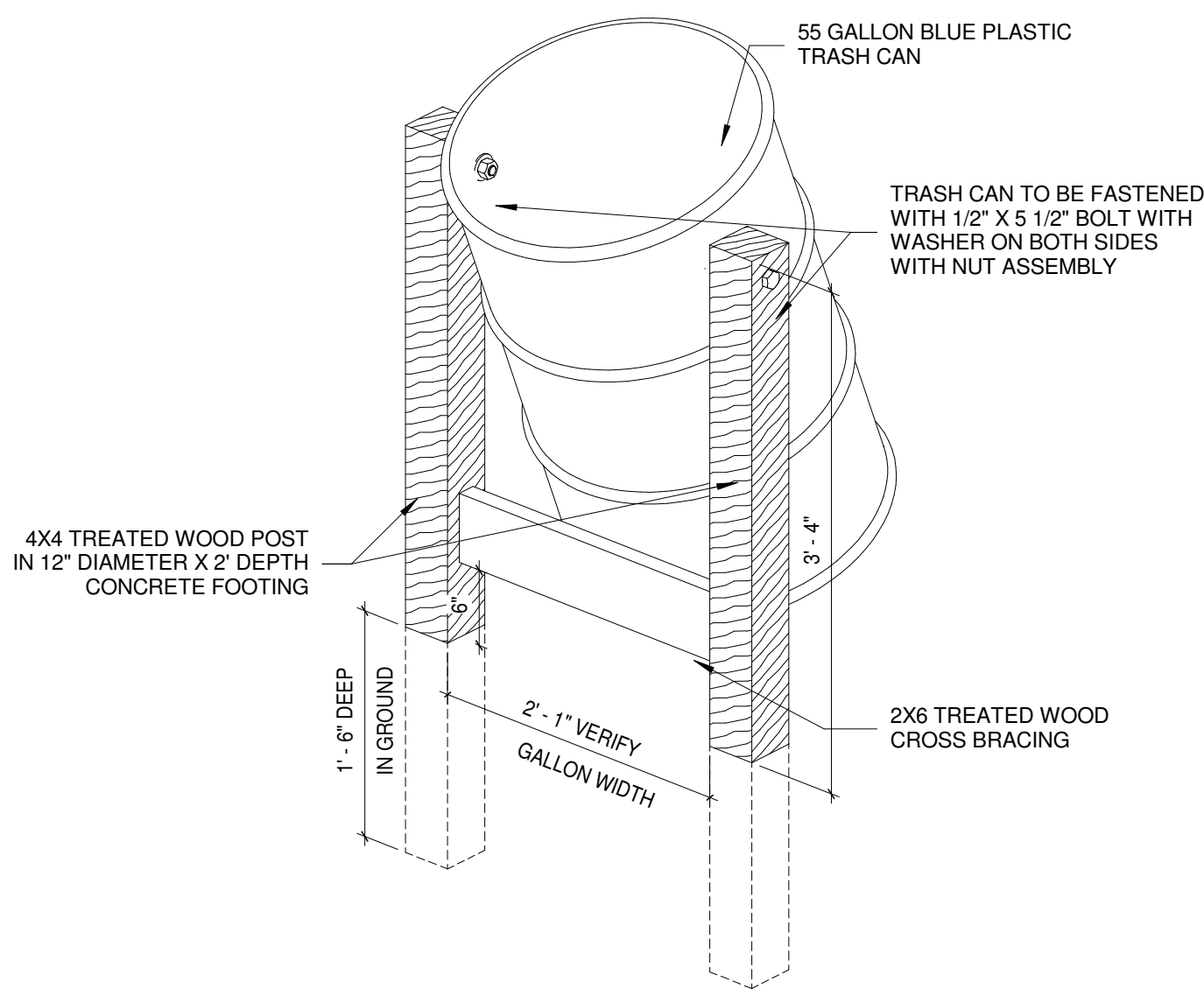
8 SHELTER BENCH 3D VIEW



9 SHELTER BENCH SECTION  
1 1/2" = 1'-0"



10 PERGOLA AND ADULT SWING



4 TRASH CAN DETAIL



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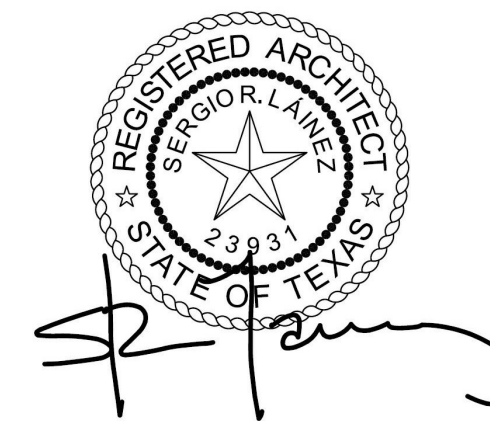
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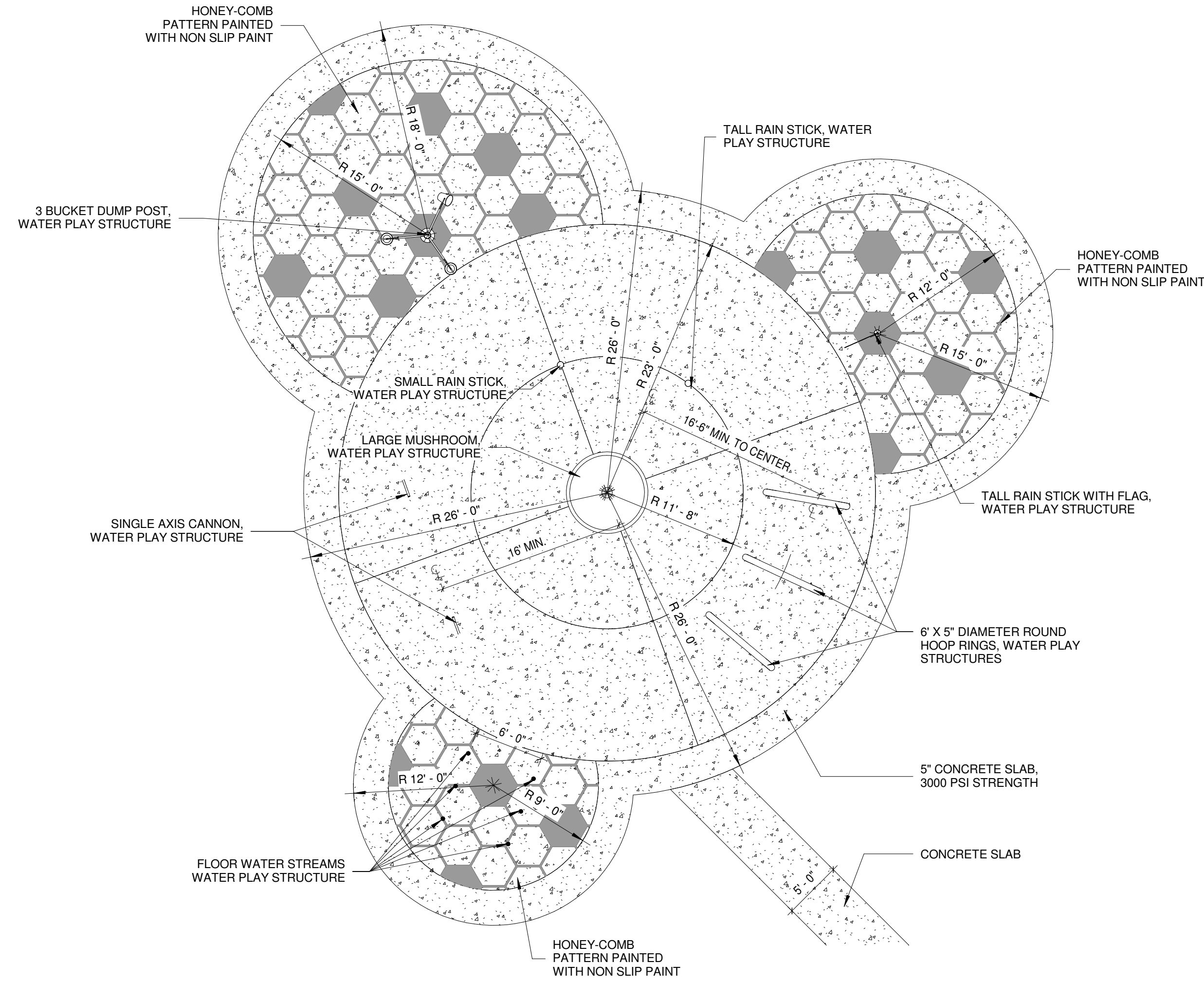
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SECTION DETAILS

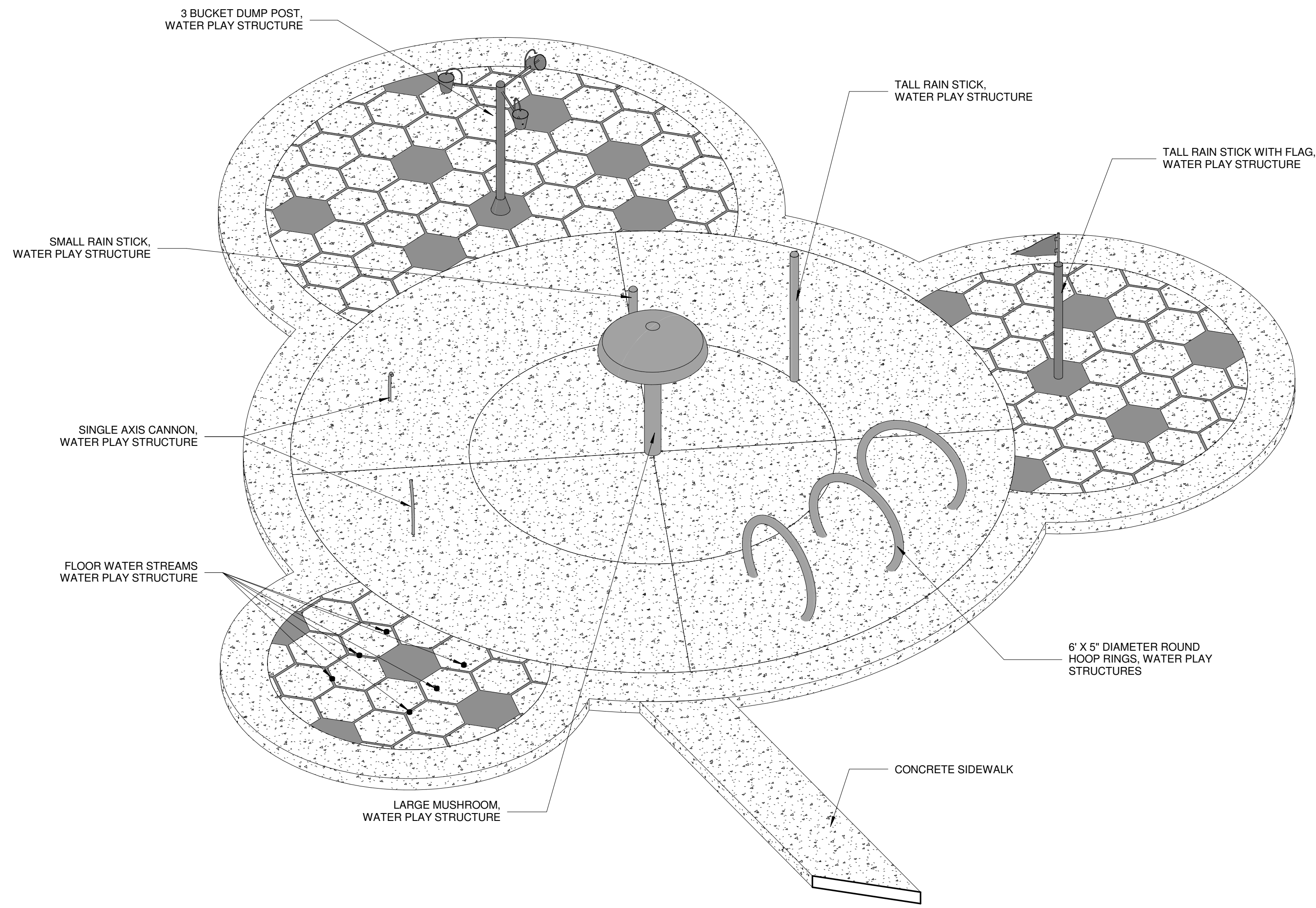
A102





1 SPLASHPAD PLAN VIEW  
1/8" = 1'-0"

NOTES:  
1. PAINT TO BE HIGH GLOSS POLYURETHANE ENAMEL.



2 SPLASHPAD 3D VIEW



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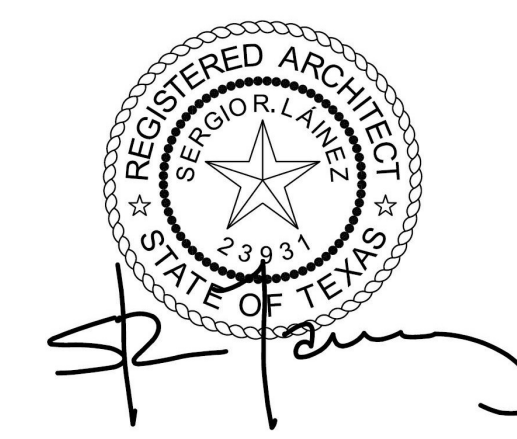
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SPLASHPAD AND  
DETAILS

A103





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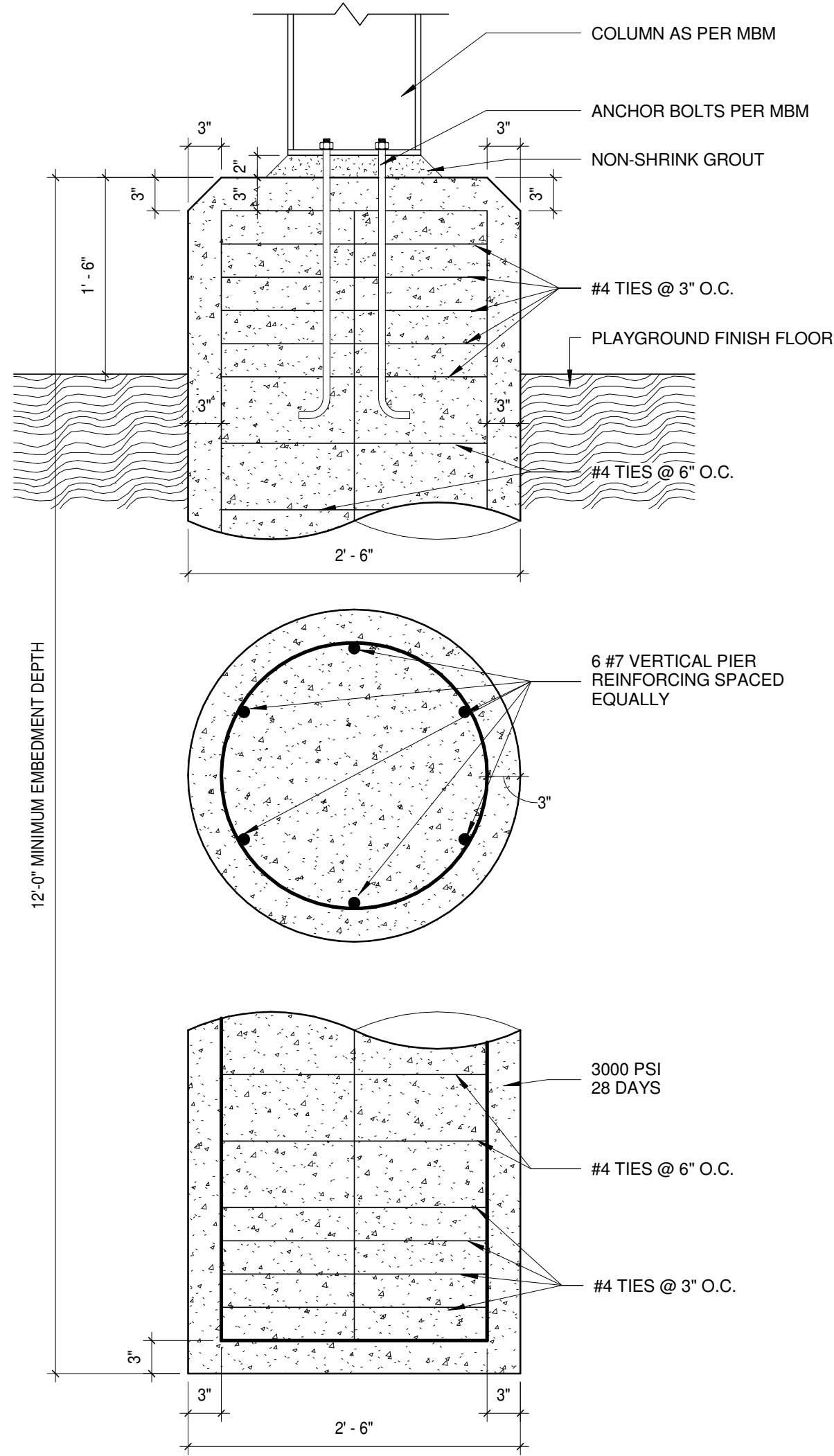




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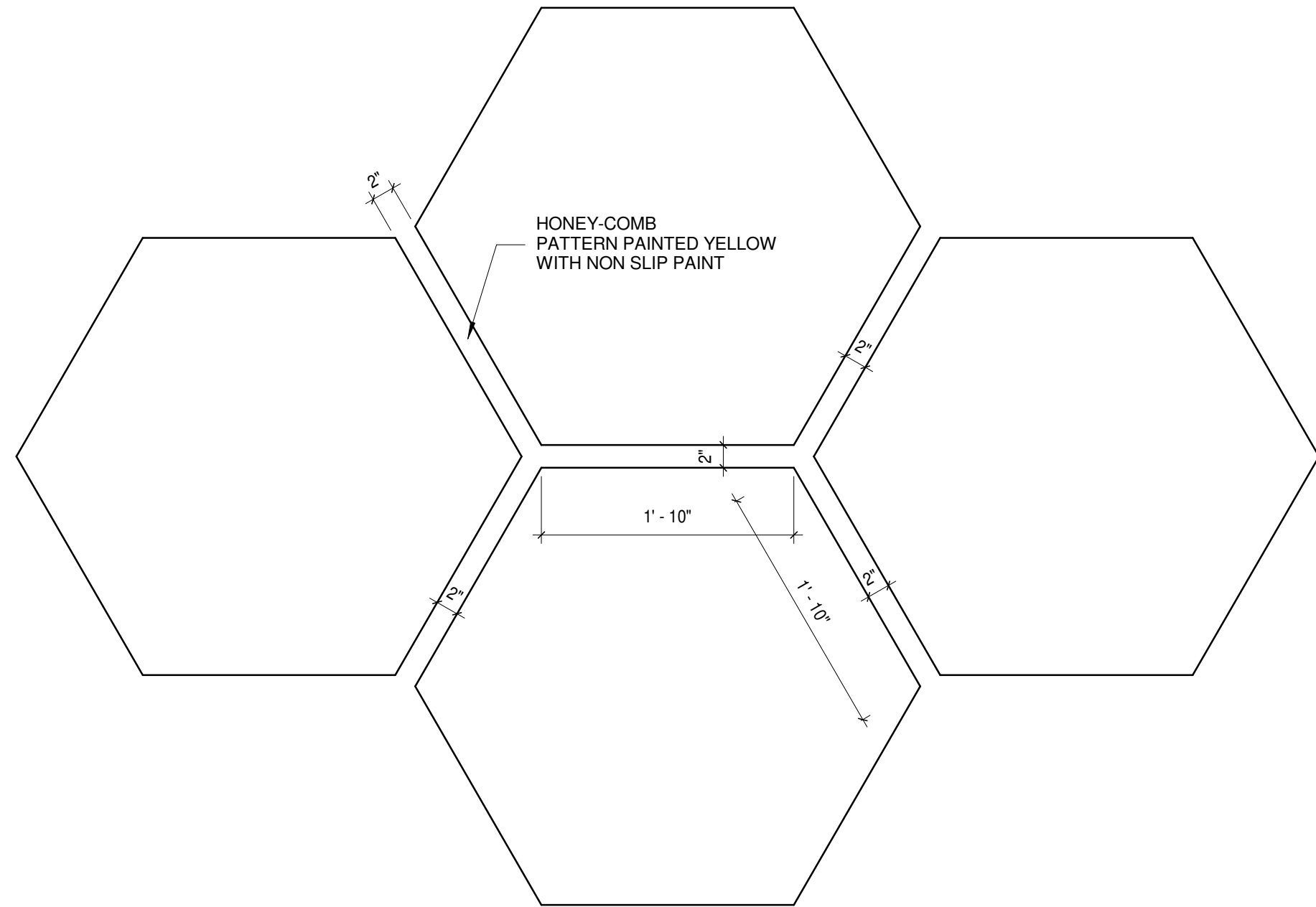
1  
1" = 1'-0"

PLAYGROUND DRILL PIER COLUMN FOOTING



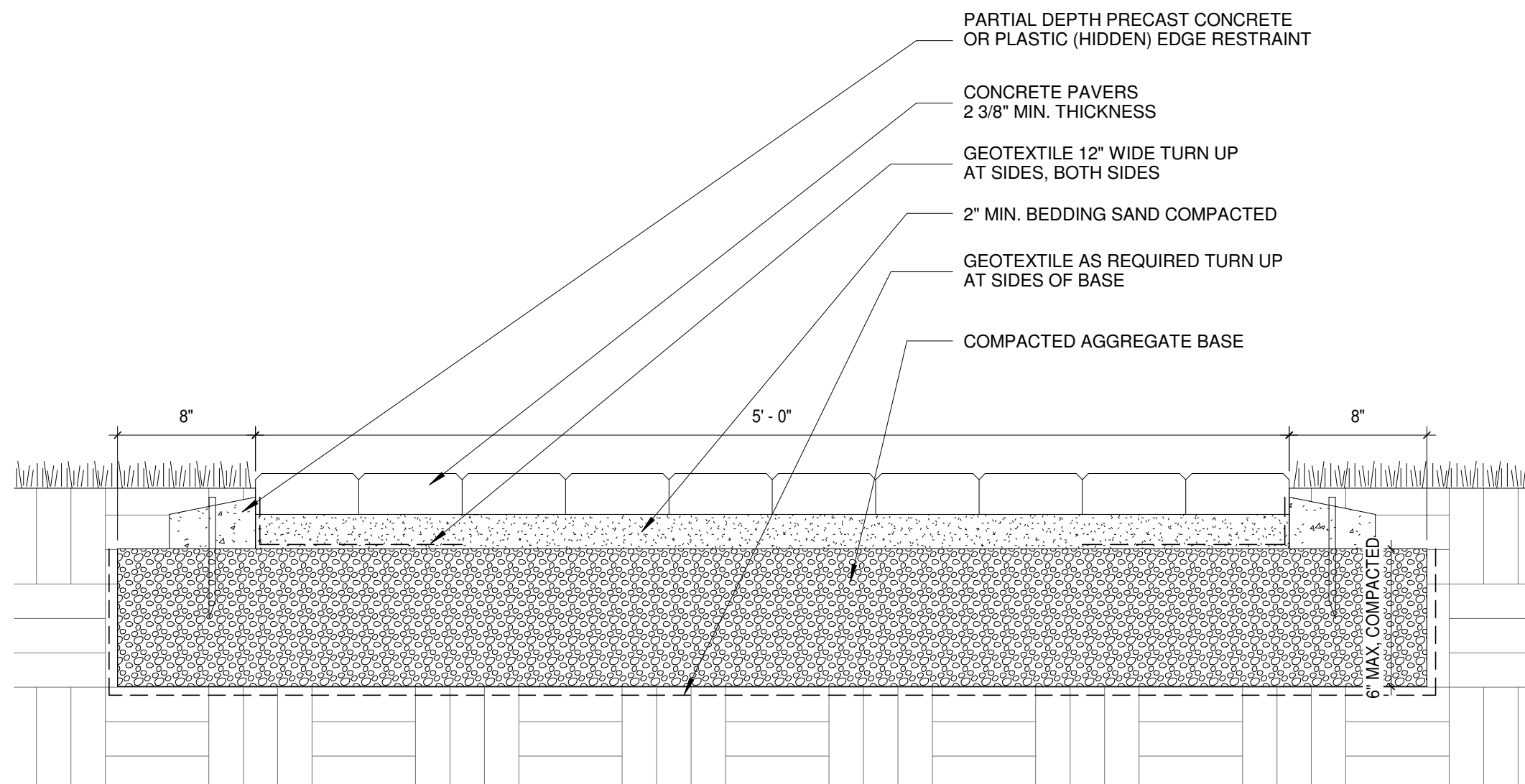
2  
1" = 1'-0"

HONEY COMB PLAN VIEW PATTERN



3  
1 1/2" = 1'-0"

PAVER DETAIL



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PAVER DETAIL,  
COLUMN FOOTING  
DETAIL, AND TRAIL  
FLOOR PATTERN

A106





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**CHAIN LINK FENCE  
DETAILS**

**A107**

D

—

C

—

1

**FENCE ELEVATION DETAIL**

1" = 1'-0"

2

**CHAIN LINK FENCE SECTION DETAIL**

1" = 1'-0"

B

—

A

3

**CHAIN LINK FENCE GATE DETAIL**

3/4" = 1'-0"



D

—

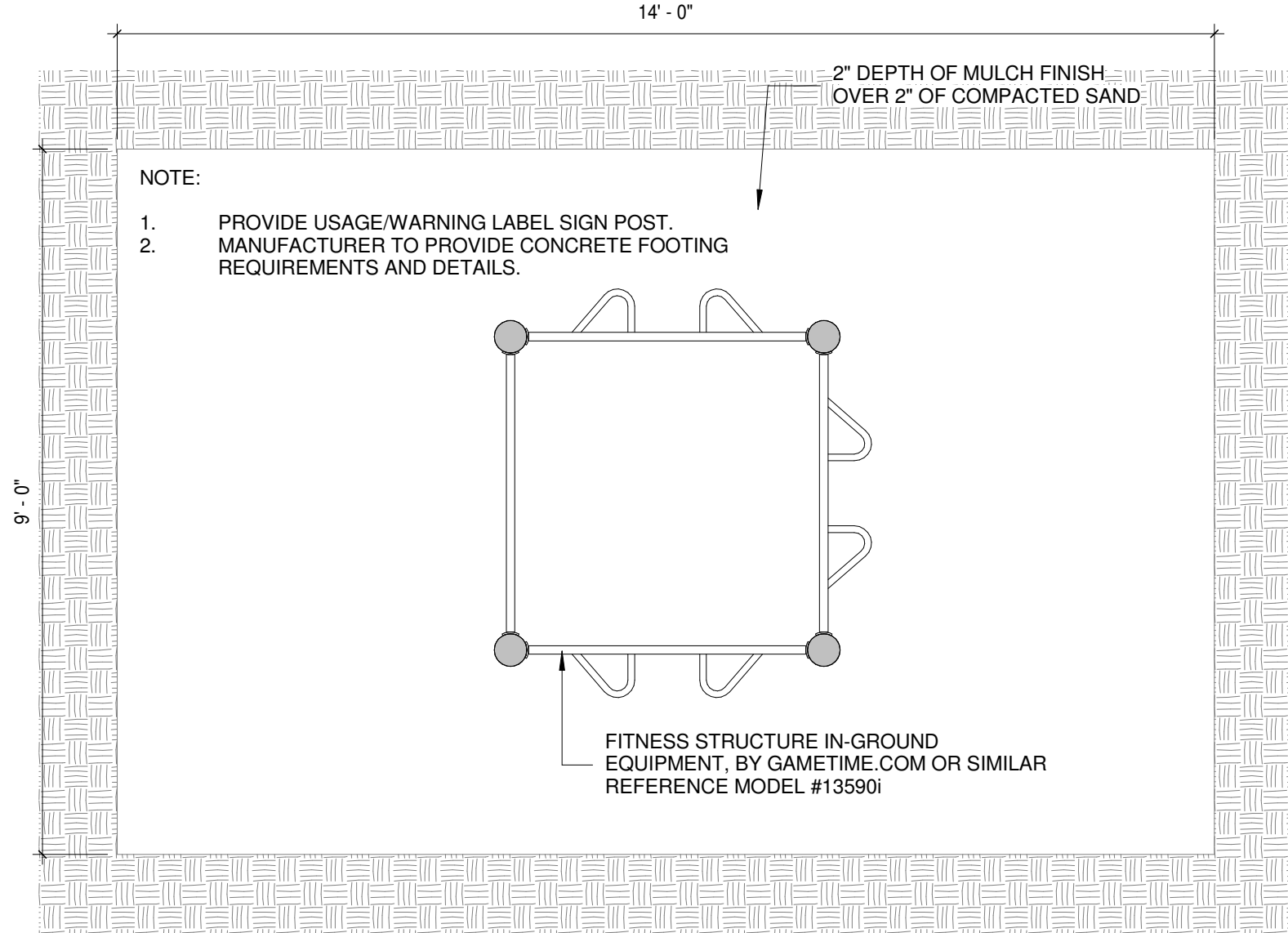
C

—

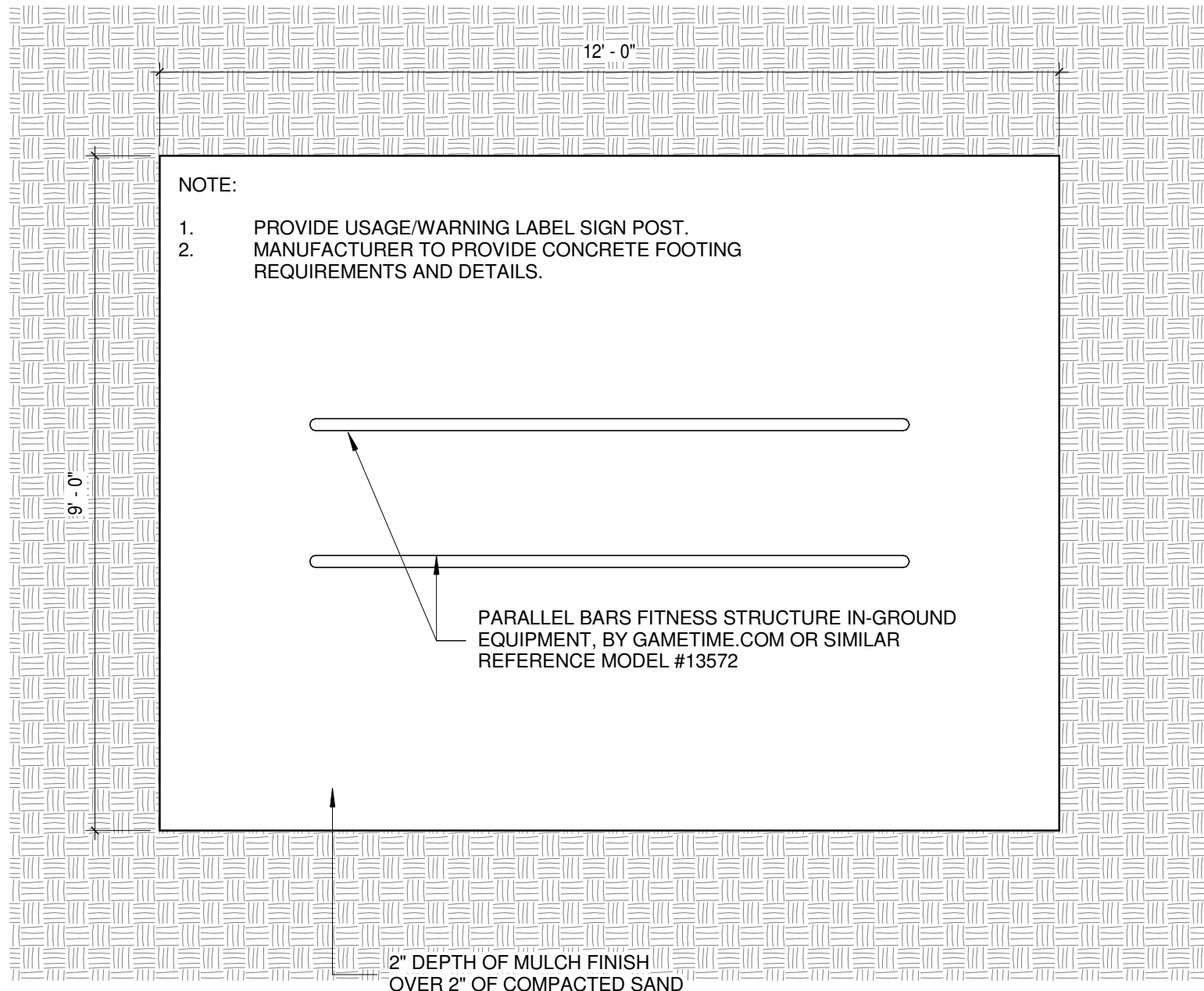
B

—

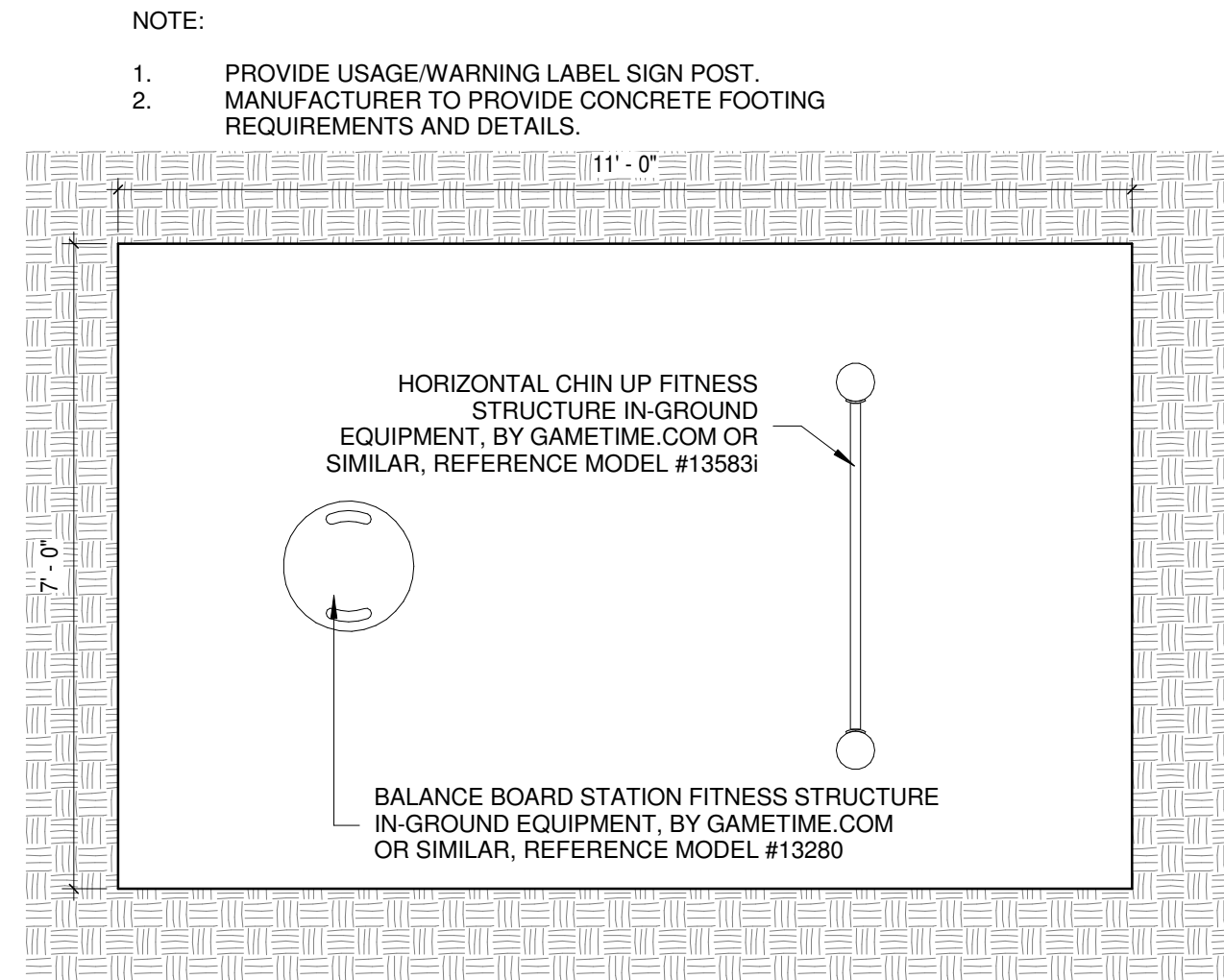
A



1 WORKOUT STATION 1  
1/2" = 1'-0"

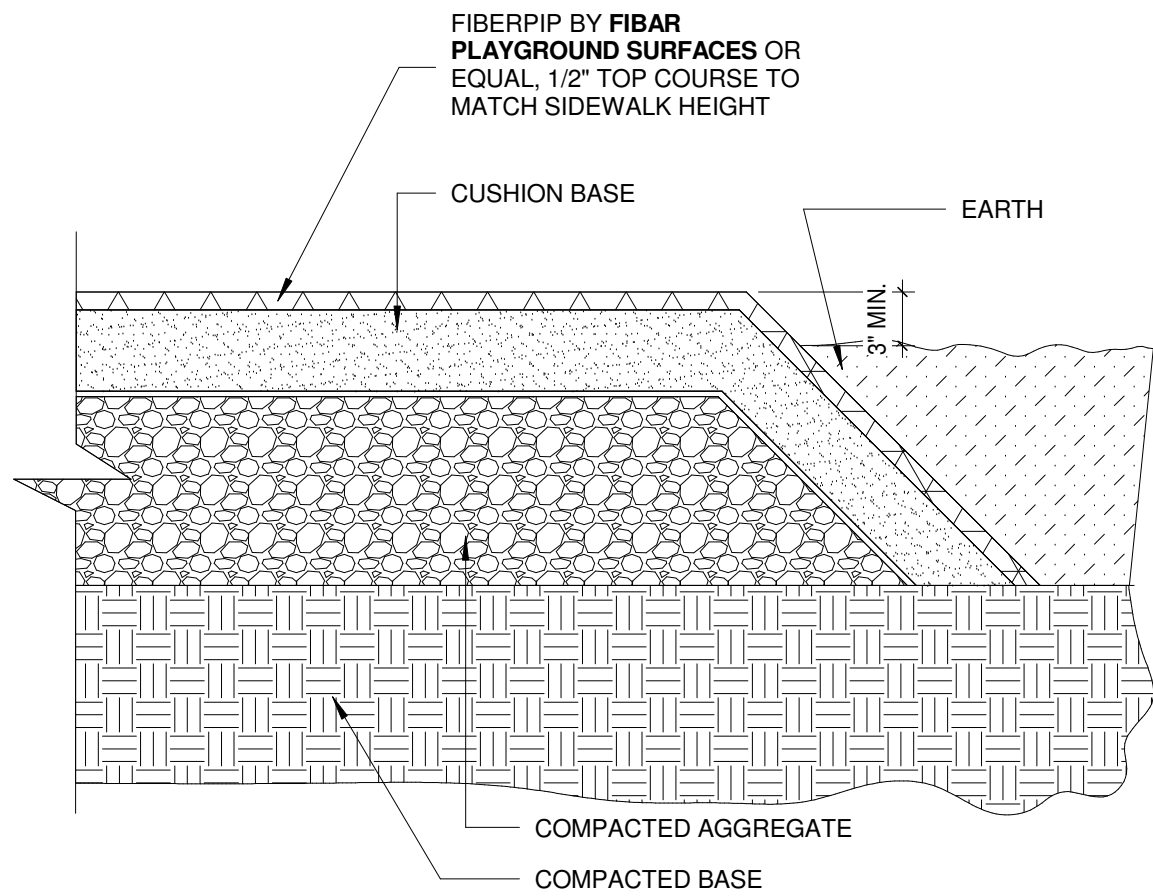


2 WORKOUT STATION 2  
1/2" = 1'-0"



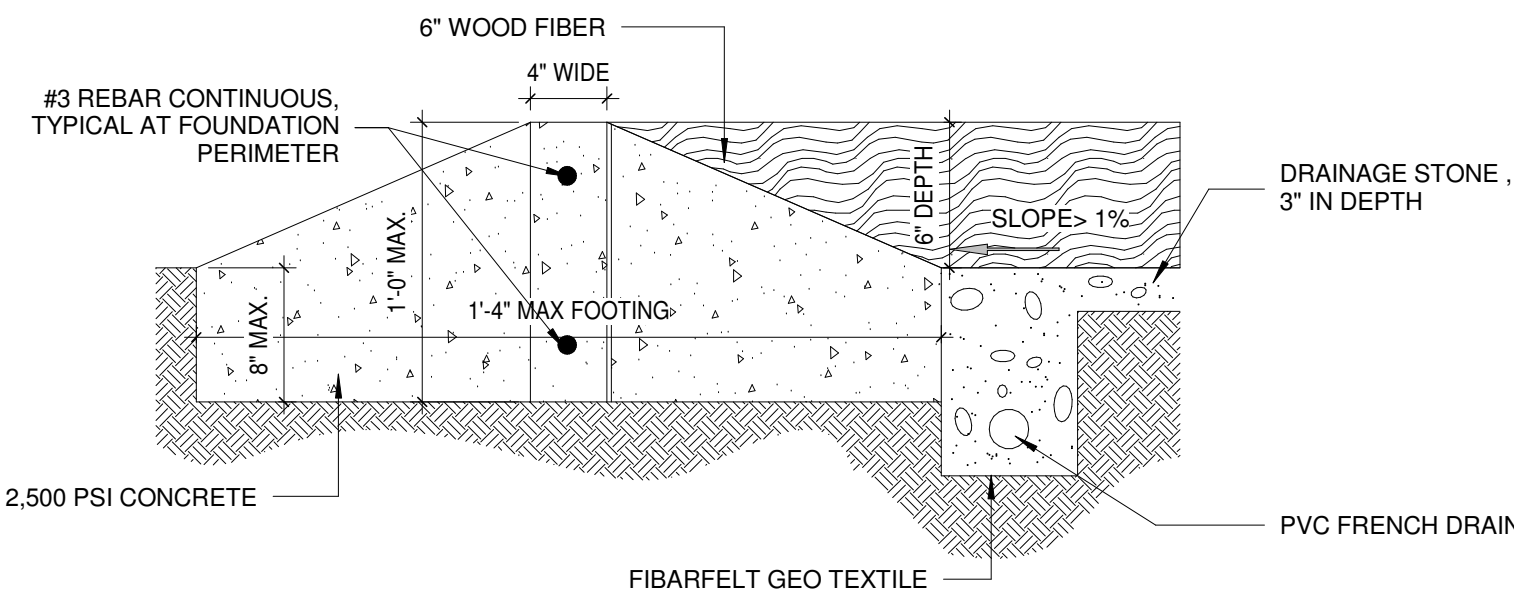
3 WORKOUT STATION 3  
1/2" = 1'-0"

FIBARPIP SAFETY SURFACING OVER COMPACTED AGGREGATE BASE WITH TURN DOWN INTO LOOSE FILL - FIBAR PLAYGROUND SURFACING OR EQUAL



4 H/C PLAYGROUND FINISH FLOOR SECTION  
1/2" = 1'-0"

FIBAR 200: ABOVE GROUND BY FIBAR PLAYGROUND SURFACING OR EQUAL



5 TYPICAL PLAYGROUND FINISH FLOOR SECTION  
1/2" = 1'-0"



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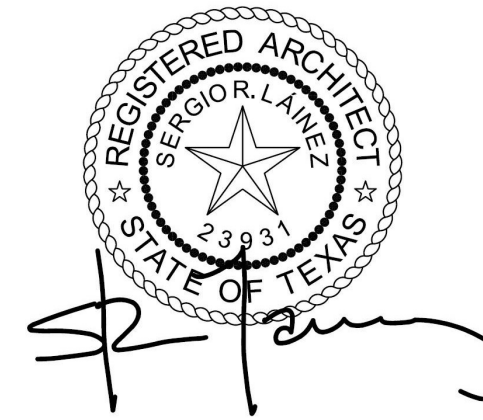
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WORKOUT STATIONS  
AND H/C  
PLAYGROUND FLOOR  
DETAIL

A108





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## PLAYGROUND H/C, AREA 2 PLAN AND ELEVATIONS

# A 109



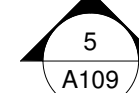
# 1 H/C PLAYGROUND PLAN



2 ADA PLAYGROUND CANOPY SIDE ELEVATION  
1/4" = 1'-0"



### 3 ADA PLAYGROUND CANOPY FRONT ELEVATION



4 PLAYGROUND AREA 2  
1/8" = 1'-0"



5 PLAYGROUND AREA 2 FRONT ELEVATION  
1/4" = 1'-0"



6 PLAYGROUND AREA 2 SIDE ELEVATION  
1/4" = 1'-0"





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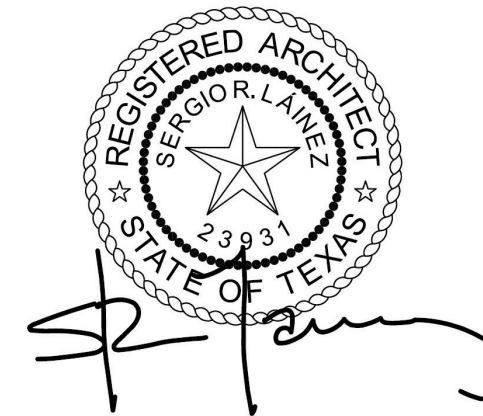
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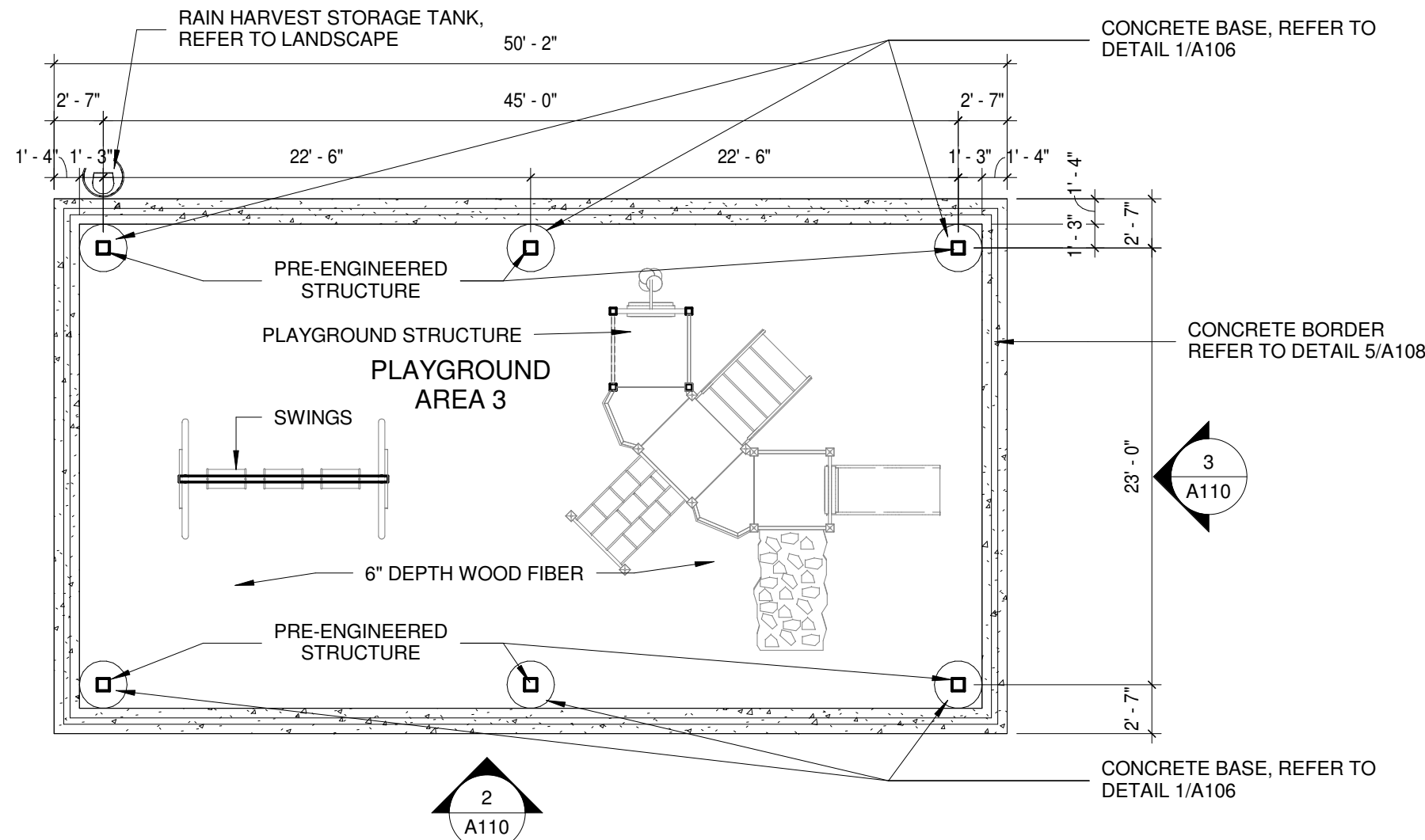
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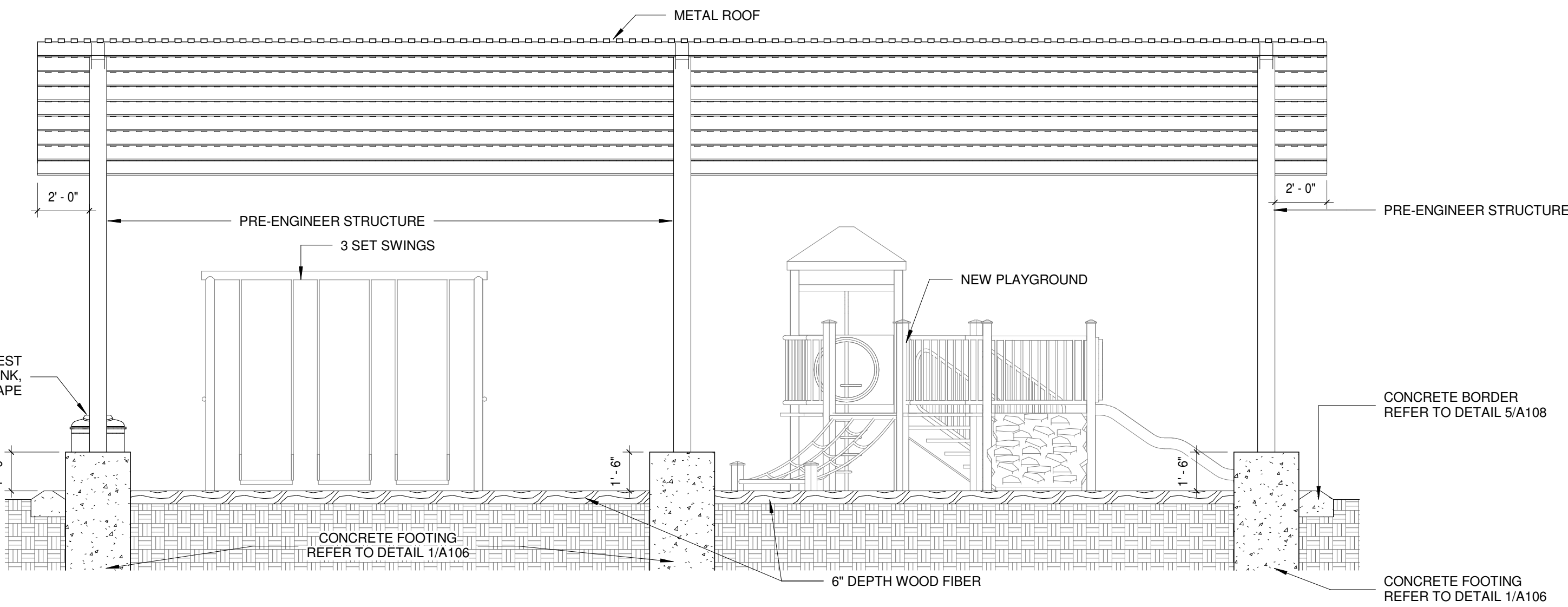
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PLAYGROUND AREAS  
3 AND 4 PLAN AND  
ELEVATIONS

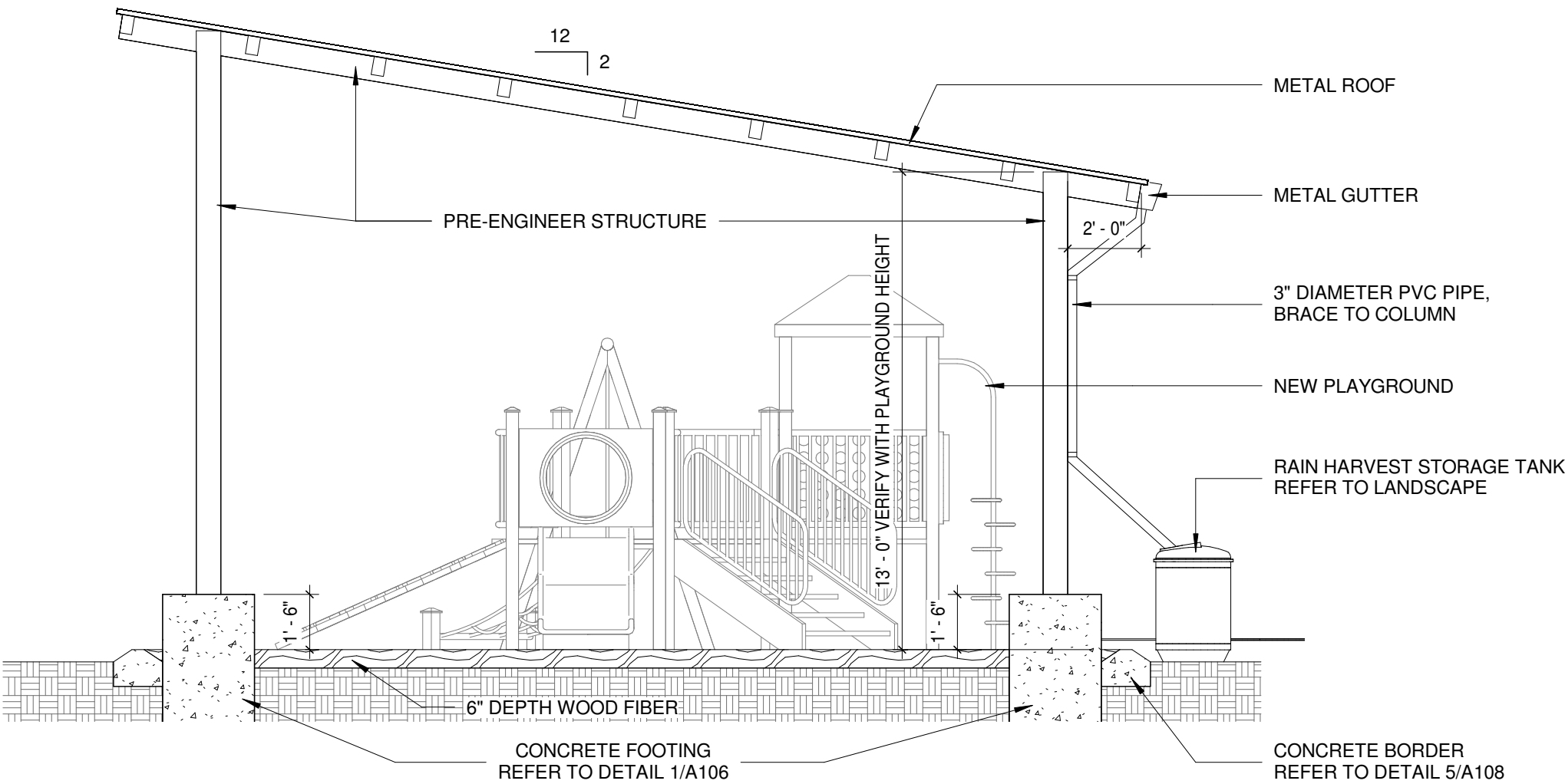
A110



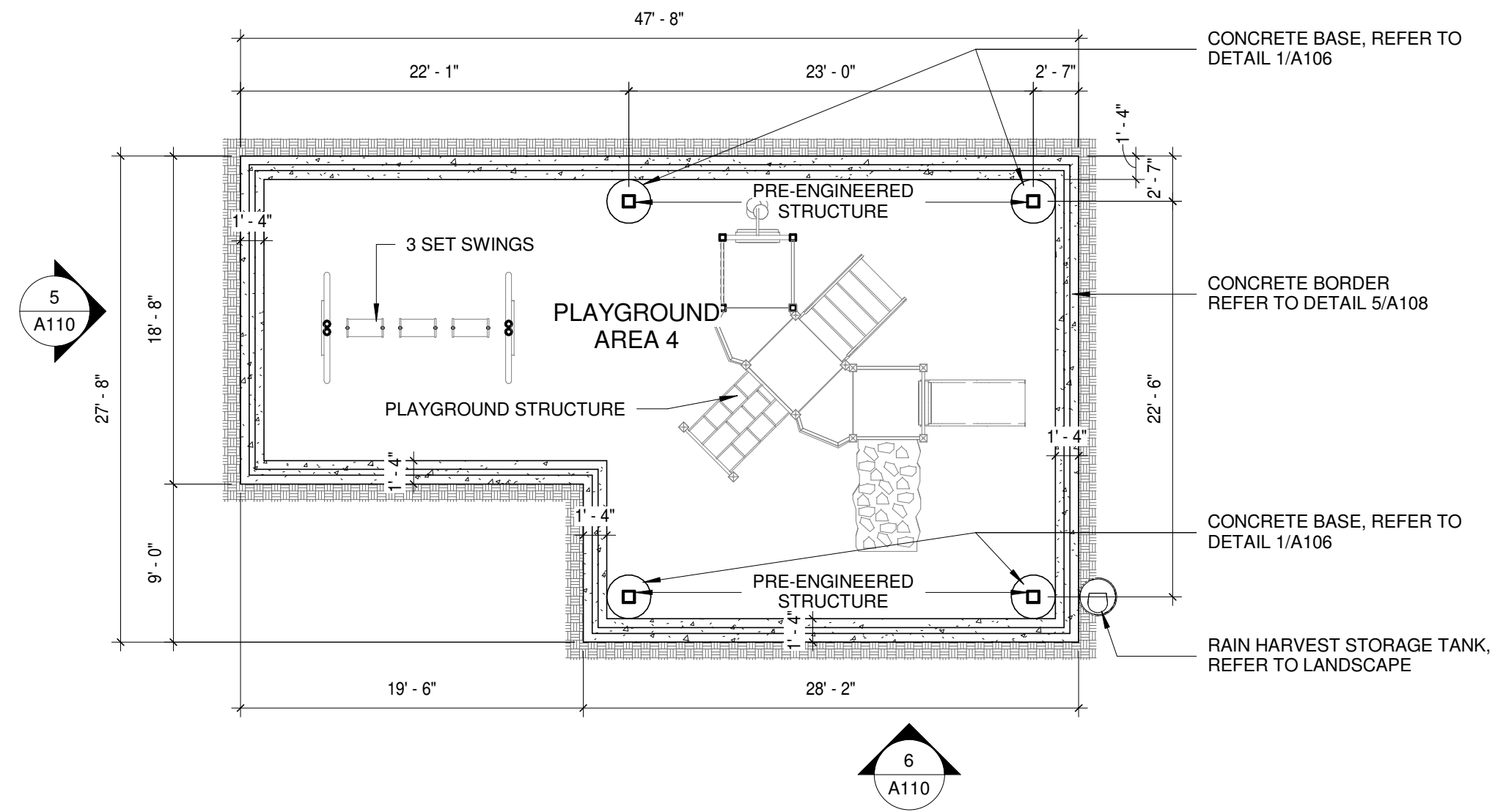
1 PLAYGROUND AREA 3  
1/8" = 1'-0"



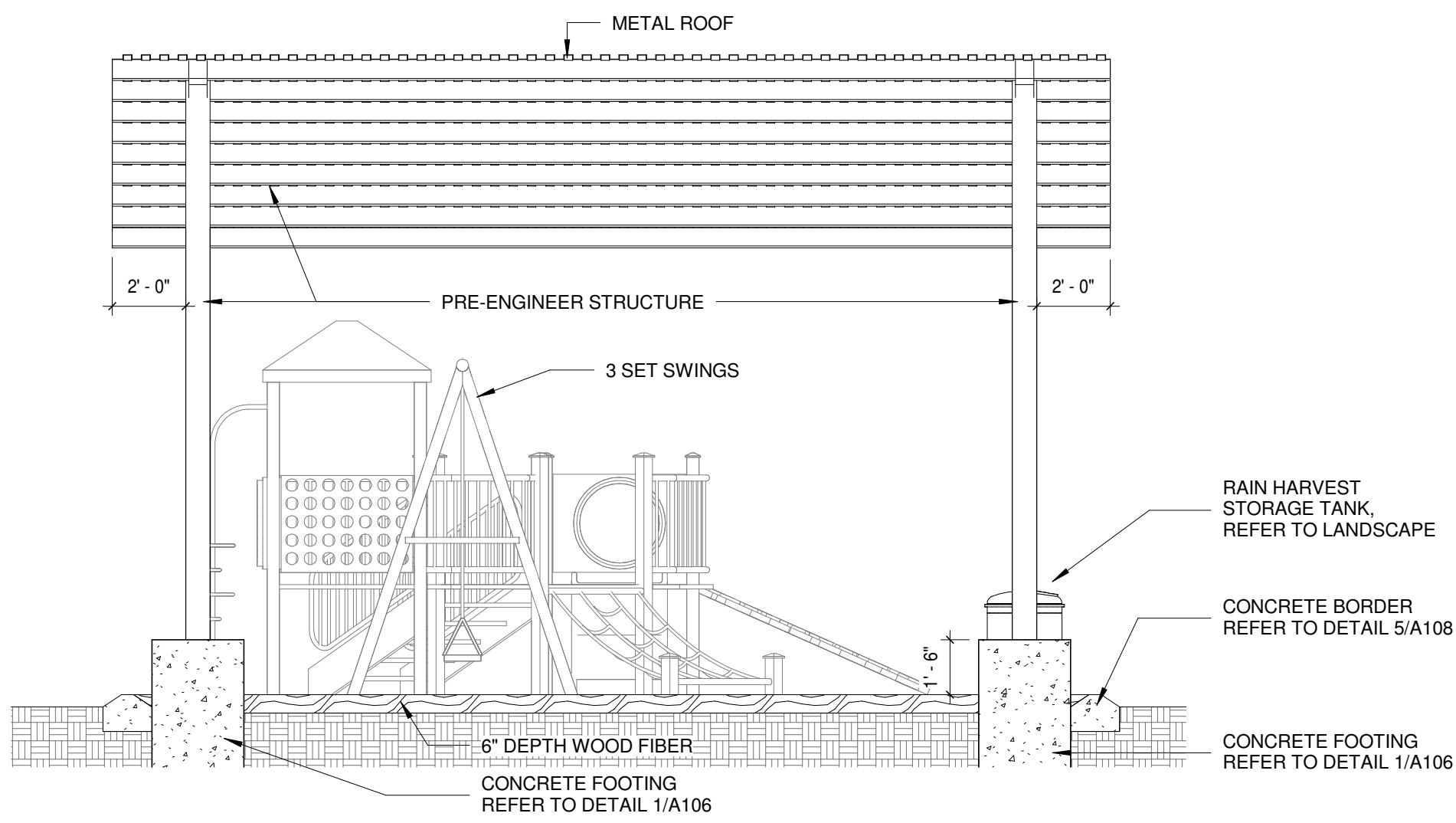
2 PLAYGROUND AREA 3 FRONT ELEVATION  
1/4" = 1'-0"



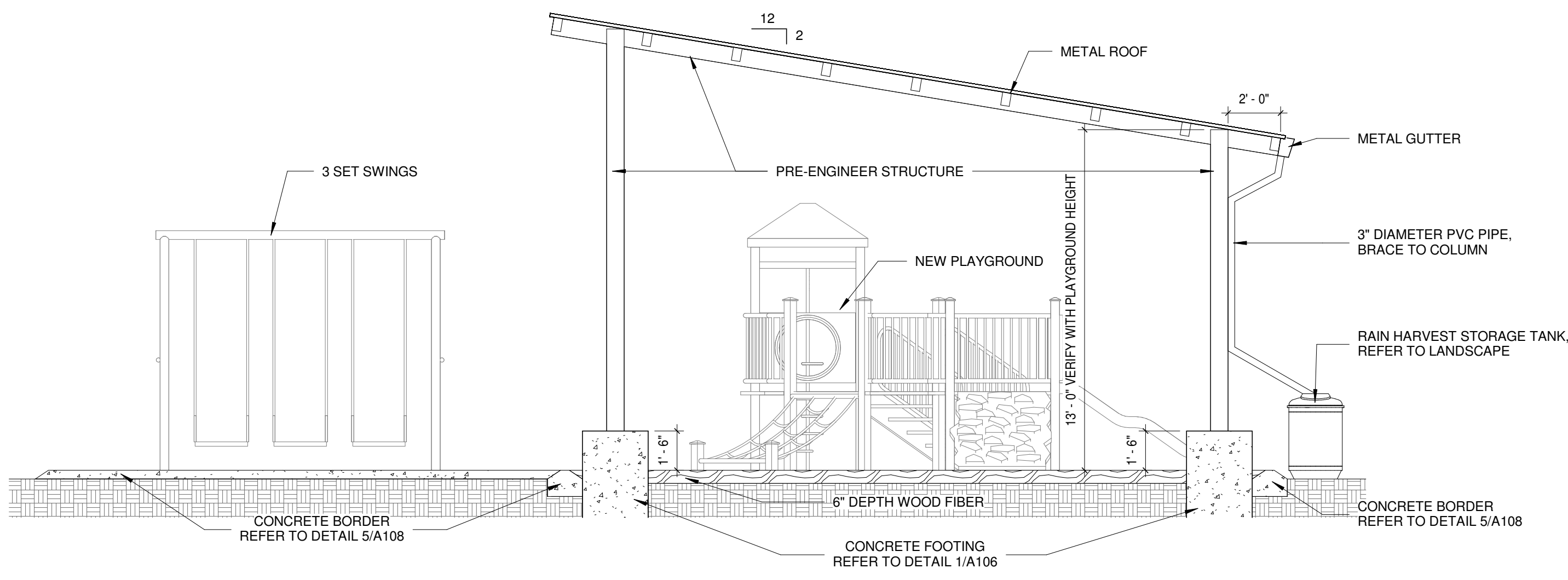
3 PLAYGROUND AREA 3 SIDE ELEVATION  
1/4" = 1'-0"



4 PLAYGROUND AREA 4  
1/8" = 1'-0"

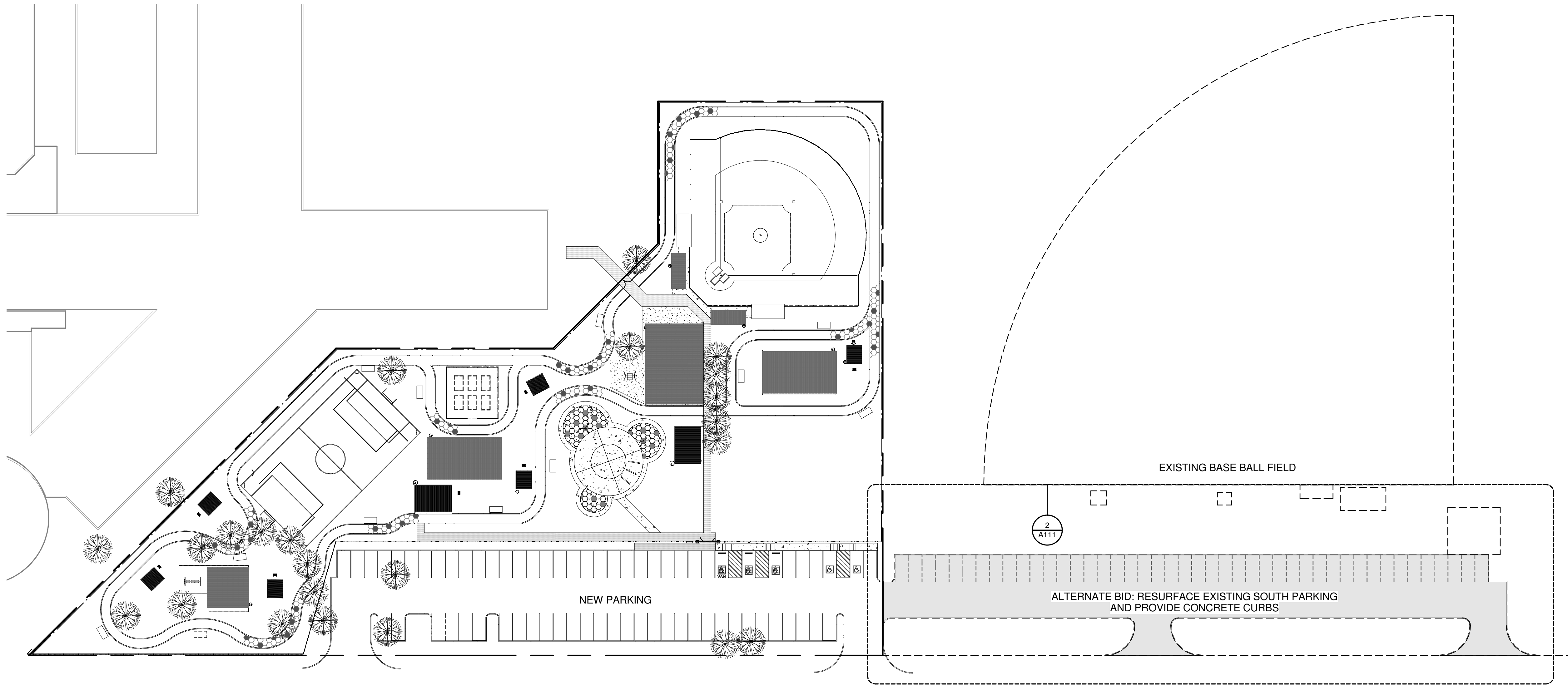


5 PLAYGROUND AREA 4 FRONT ELEVATION  
1/4" = 1'-0"

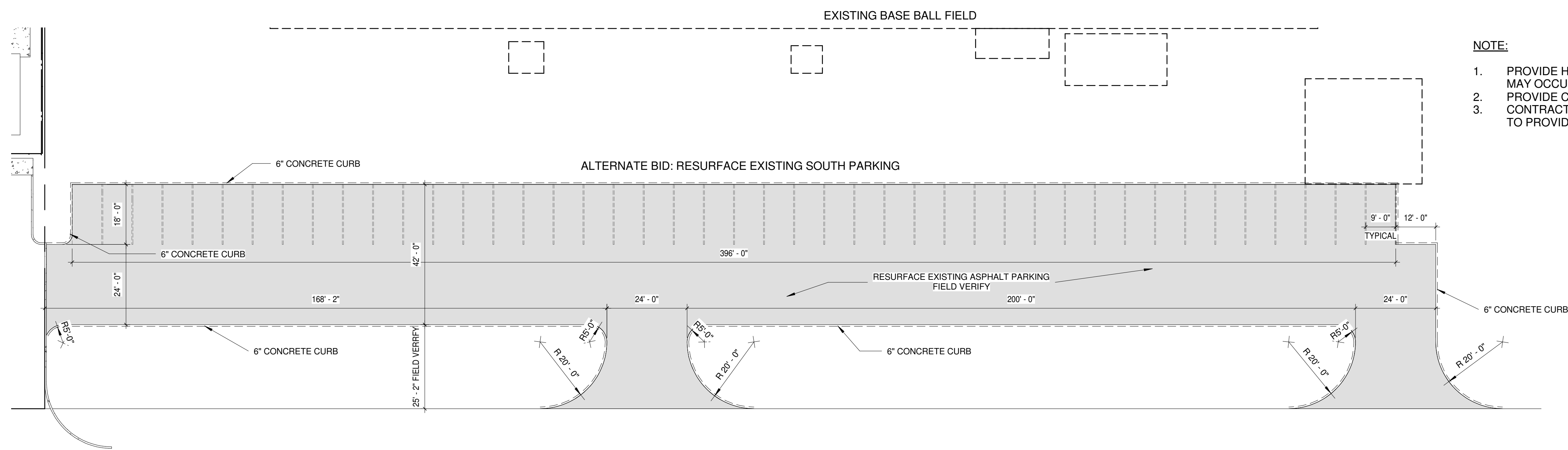


6 PLAYGROUND AREA 4 SIDE ELEVATION  
1/4" = 1'-0"





1 OVERALL SITE PLAN WITH ALTERNATE BID ITEM  
1" = 40'-0"



NOTE:

1. PROVIDE H/C PAVEMENT SIGNS WHERE ADA ENTRANCES MAY OCCUR. SIMILAR TO DETAIL 3/A002./
2. PROVIDE CONCRETE TIRE STOPS ONLY AT H/C PARKING.
3. CONTRACTOR TO VISIT SITE AND FAMILIARIZE EXISTING SITE PRIOR TO PROVIDING ALTERNATE BID.

2 ALTERNATE BID RESURFACE SOUTH PARKING LOT  
1" = 20'-0"



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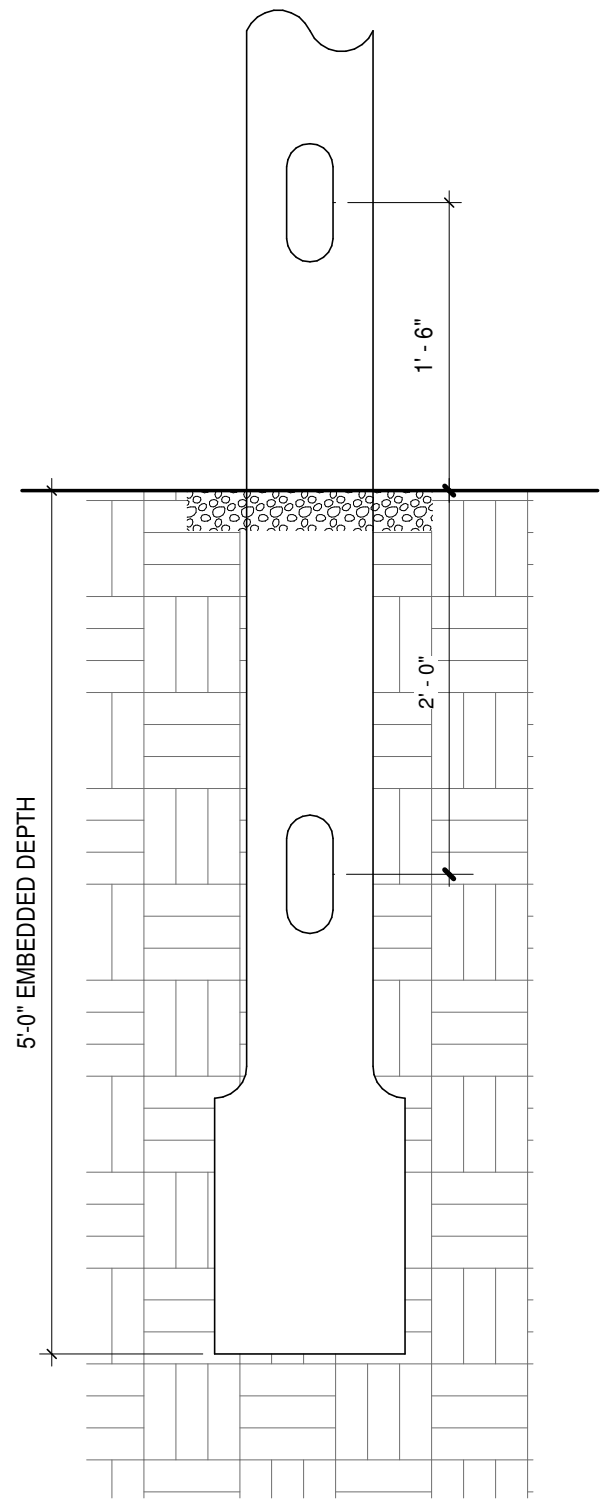
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ALTERNATE BID  
RESURFACE SOUTH  
PARKING

A111



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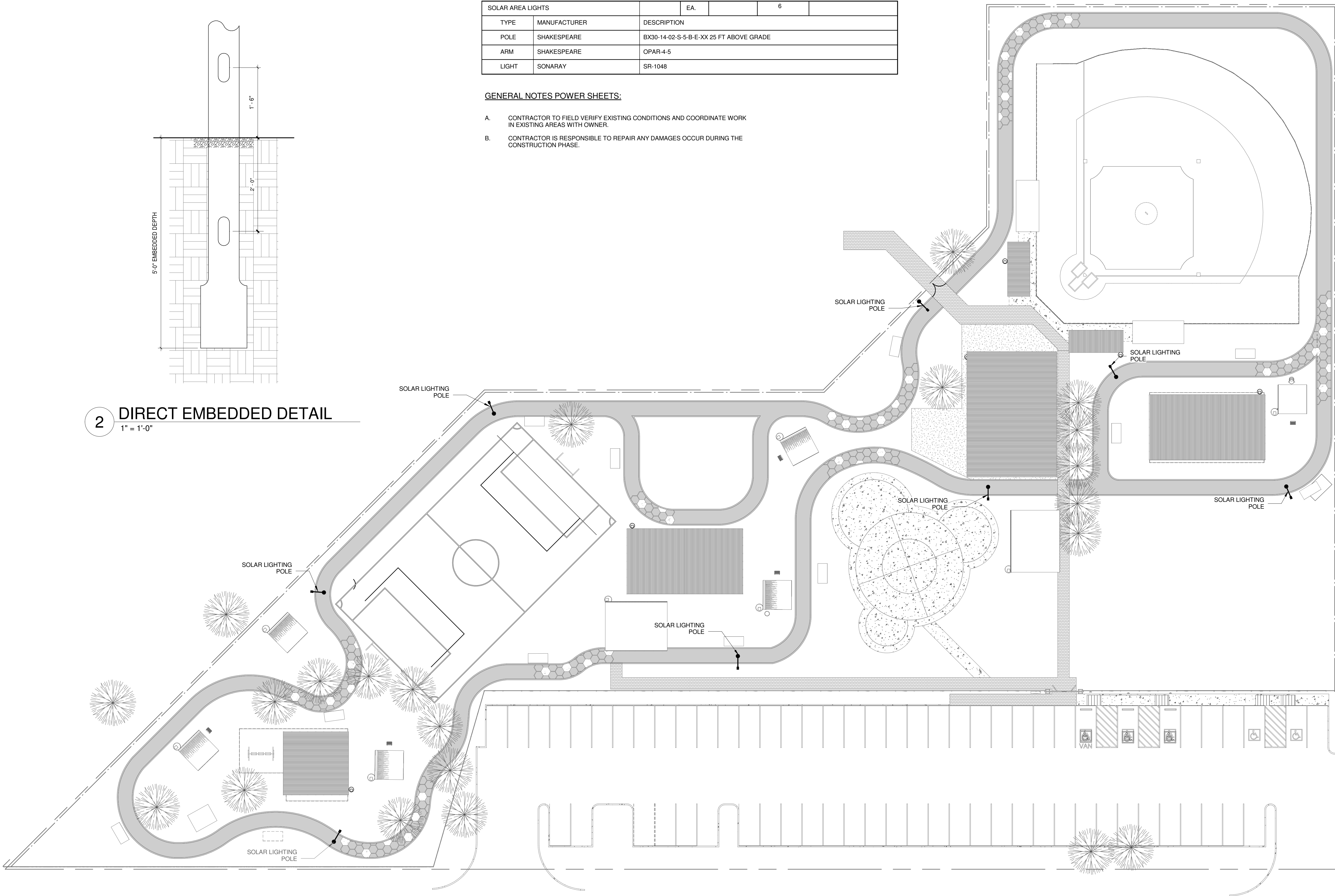


2 DIRECT EMBEDDED DETAIL  
1" = 1'-0"

SOLAR AREA LIGHTS			EA.	6
TYPE	MANUFACTURER	DESCRIPTION		
POLE	SHAKESPEARE	BX30-14-02-S-5-B-E-XX 25 FT ABOVE GRADE		
ARM	SHAKESPEARE	OPAR-4-5		
LIGHT	SONARAY	SR-1048		

GENERAL NOTES POWER SHEETS:

- A. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WORK IN EXISTING AREAS WITH OWNER.
- B. CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGES OCCUR DURING THE CONSTRUCTION PHASE.



1 PROPOSED LIGHTING POLE SITE PLAN  
1" = 20'-0"



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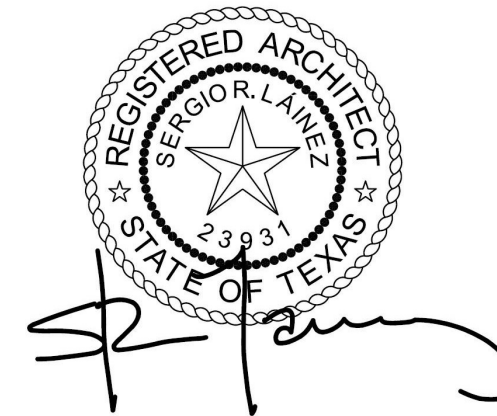
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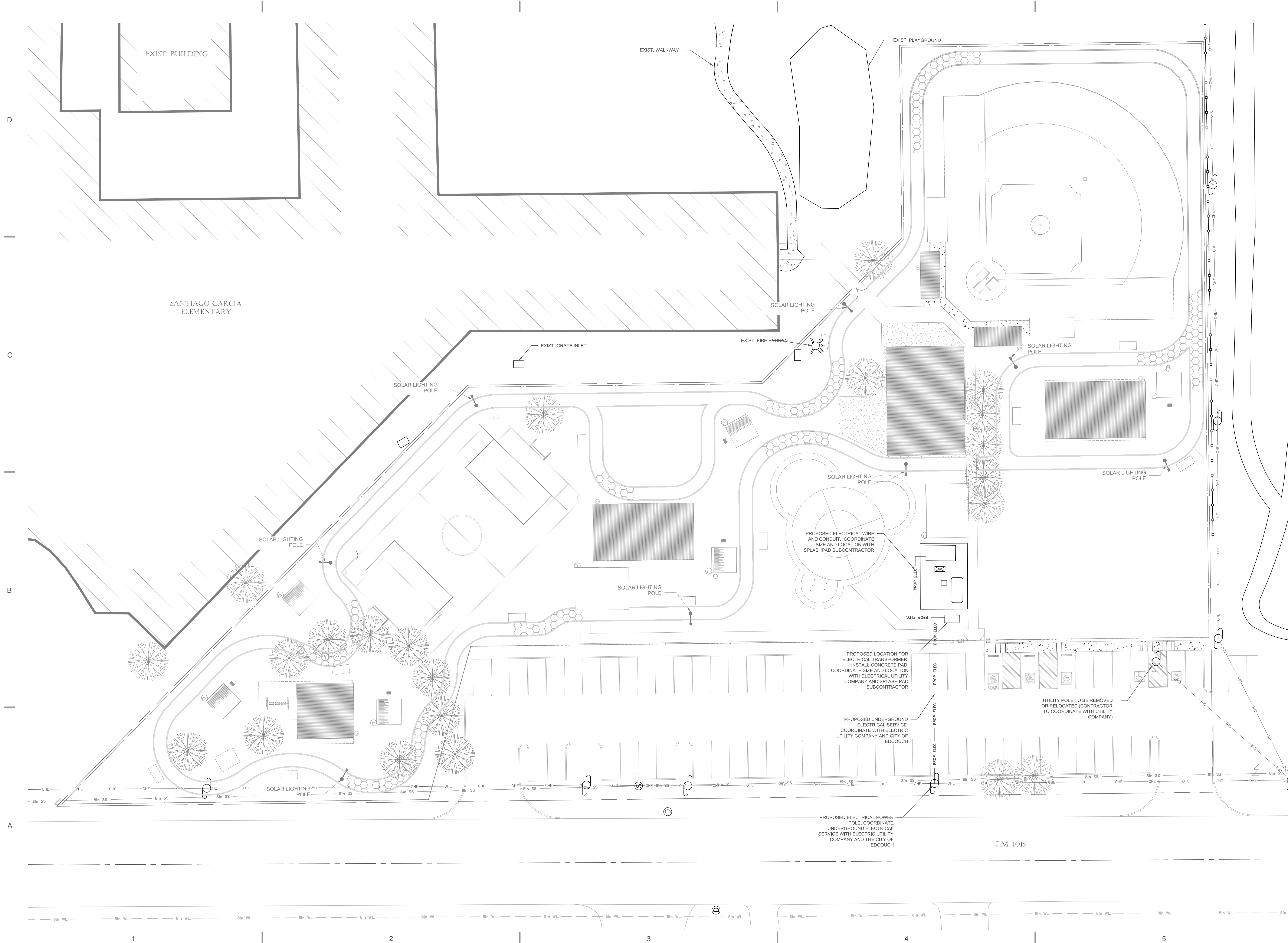
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LIGHTING POLE SITE  
PLAN

E100





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ISSUED FOR TPWD REVIEW 09/13/20



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**ELECTRICAL SITE  
PLAN**

**E101**