

**CITY OF MISSION
SPECIFICATIONS/PLANS**

BID NAME/NO.:

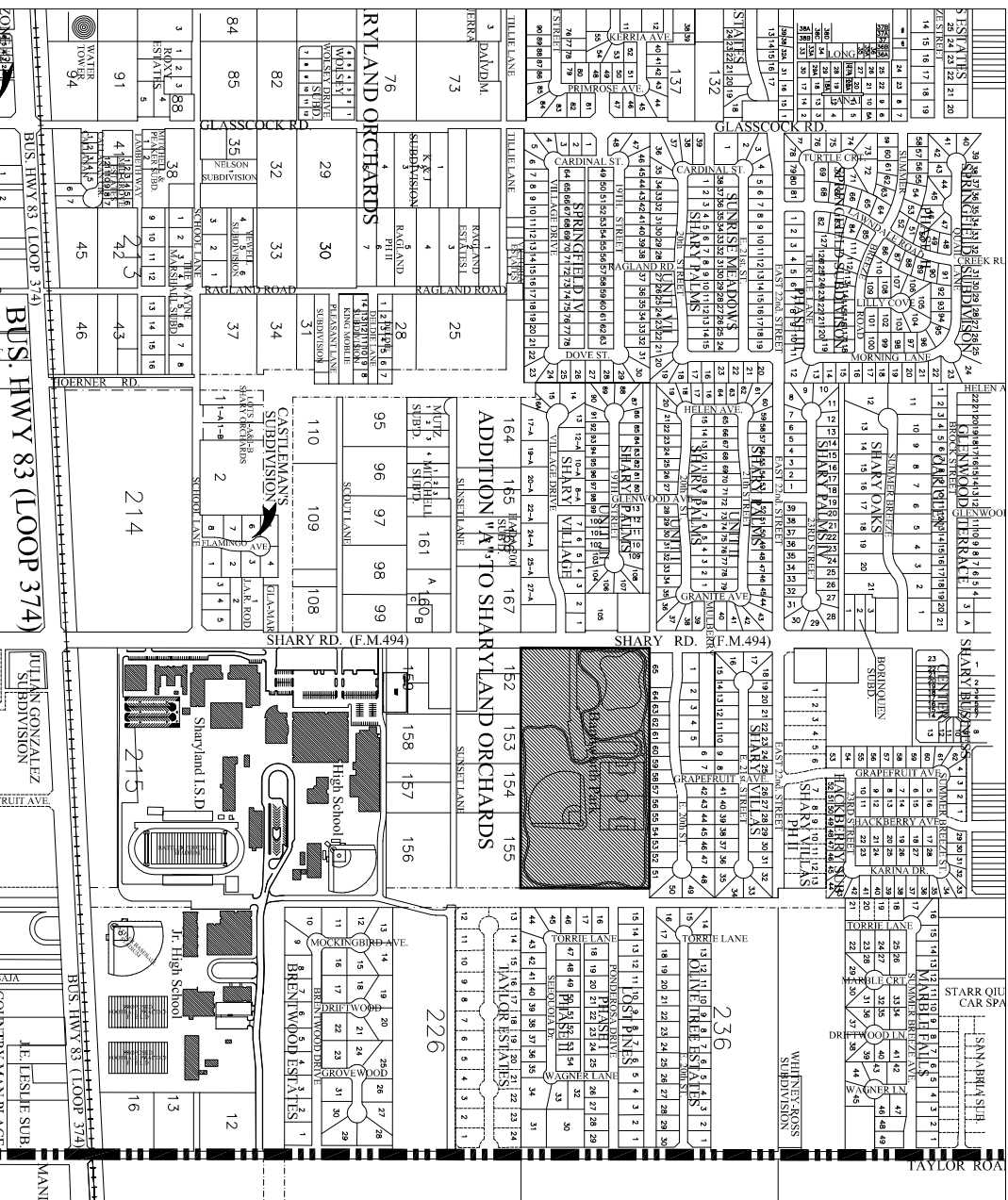
Expansion of the Bannworth Gym / 19-138-02-13



CITY OF MISSION

BANNWORTH PARK GYM EXPANSION PROJECT

(1822 N. SHARY RD., MISSION TEXAS 78572)



LOCATION MAP

INDEX OF SHEETS

- 1 - SITE PLANS
- 2 - FLOOR PLANS
- 3 - ELEVATIONS
- 4 - RR DETAILS
- 5 - DETAILS A
- 6 - DETAILS B
- 7 - DEMOLITION PLAN
- 8 - ROOF PLANS
- 9 - FOUNDATION PLAN
- 10 - NOTES
- 11 - ELECTRICAL PLAN

CITY OFFICIALS

- ARMANDO OCANA-----MAYOR
- NORIE GONZALEZ-GARZA---MAYOR PRO-TEM
- JESSICA ORTEGA-OCHOA---COUNCIL MEMBER
- RUBEN PLATA-----COUNCIL MEMBER
- GUS MARTINEZ-----COUNCIL MEMBER
- RANDY PEREZ-----ACTING INTERIM CITY MANAGER



SITE PLAN
N.T.S.

SETBACKS

AS SHOWN ON SITE PLAN

CONTRACTOR MUST VERIFY INFORMATION WITH CITY OF MISSION PLANNING DEPARTMENT.

SIDEWALK REQUIREMENTS

1. EXPANSION JOINTS SHOULD START AT PROPERTY LINE
2. EXPANSION JOINTS SHALL BE 1x4 GEDAR AND SHOULD BE AND LEAD TO 4, 2.25 REBARS WITH T INTO EXISTING CONCRETE AND LEAD TO 4, 2.25 REBARS
3. PROVIDE CONTROL JOINTS EVERY 8' AND SHALL BE 1/4" OF THICKNESS OF CONCRETE DEPTH.

NOTE:
CONTRACTOR SHALL GRADE 6' AROUND THE PERIMETER OF NEW STRUCTURE AS REQUIRED AND AT THE CONNECTION BETWEEN THE FRONT PORCH AND THE NEW CONCRETE DRIVEWAY. VERIFY PROPER DRAINAGE ON ALL SIDES OF NEW STRUCTURE. THE HOUSING PROGRAM DOES NOT PROVIDE ANY LANDSCAPE. THE OWNER IS RESPONSIBLE FOR ANY REQUIRED LANDSCAPE AT THE PROPERTY AND IT IS OUR RECOMMENDATION TO THE APPLICANT TO DO SO AT THEIR EARLIEST CONVENIENCE TO AVOID ANY EROSION AROUND THE NEW STRUCTURE. CONTRACTOR SHALL VERIFY ALL SUB-CONTRACTORS WORK COMPLY WITH ALL UTILITY COMPANY REQUIREMENTS. TYPICAL.

GENERAL NOTES

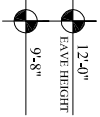
- CONTRACTOR SHALL FIELD VERIFY AS FOLLOWS:
1. REFER TO SURVEY FOR THE EXACT LOCATION (REQUIRED) FOR ALL EXISTING UTILITIES CONNECTIONS AS WELL AS ALL TREES, SHRUBS, ETC. THAT SHALL BE REMOVED AS REQUIRED TO BE READY FOR ALL NEW IMPROVEMENTS ON THE PROPERTY AS SHOWN ON PLANS.
 2. CONTRACTOR SHALL VERIFY LOCATION FOR BUT NOT LIMITED TO: (AS REQUIRED)
 - MB (MAIL BOX)
 - T (TREES)
 - POL (POLE LINE)
 - P (ELECTRICAL POLE CONNECTION)
 - X (FENCE)
 - S (SEWER CONNECTION)
 - WM (WATER METER)
- CONTRACTOR SHALL LEAVE PROPERTY AND ITS COMPONENTS WORKING PROPERLY.

NOTE

- THE INTENTION OF THIS DRAWING IS FOR ILLUSTRATION PURPOSES ONLY. CONTRACTOR SHALL PROVIDE DOCUMENTATION AS FOLLOWS INCLUDING BUT NOT LIMITED TO:
1. COMPLETE SURVEY (REQUIRED). REFER TO SURVEY. SURVEY SHALL BE PROVIDED BY CONTRACTOR AS STIPULATED ON CONTRACT. TYPICAL
 2. MANUAL "I" (RESIDENTIAL HVAC LOADS)
 3. COMCHECK (COMPLIANCE CERTIFICATE)
- POST STREET ADDRESS IN A VISIBLE AREA, FROM STREET LEVEL AT THE CONSTRUCTION SITE
 - TOILET FACILITIES (PORT-A-POTTY) SHALL BE PROVIDED AT JOB SITE DURING CONSTRUCTION AND SHALL BE MAINTAINED IN A SANITARY CONDITION.
 - ALL INSPECTION TAGS (GREEN OR RED) SHALL BE PROVIDED TO COMMUNITY DEVELOPMENT HOUSING ASSISTANCE PROGRAM DEPARTMENT.
 - LOT SHALL BE GRADED PRIOR FINAL INSPECTION.
 - NO OCCUPANCY IS ALLOWED UNTIL FINAL APPROVAL.
 - CONTRACTOR MUST CALL UTILITY COMPANIES BEFORE DIGGING IS DONE

PROJECT: DESCRIPTION EXPANSION	ADDRESS: 1822 N. SHARY RD. MISSION TX	LEGAL DESCRIPTION: CITY OF MISSION BANNWORTH PARK GYM EXPANSION PROJECT	PAGE 1	CITY OF MISSION
	OWNER NAME: CITY OF MISSION			





SOUTH ELEV.
SCALE: NTS

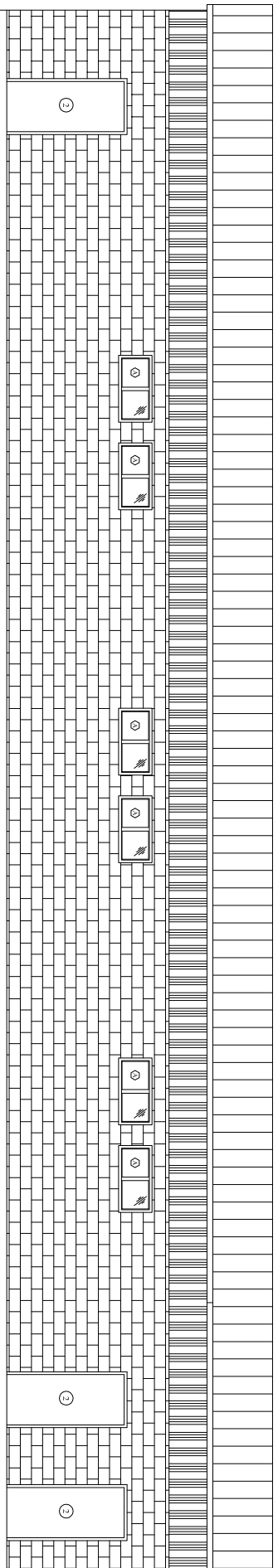
BRONZE FINISHED ALUMINUM DOOR FRAME SYSTEM WITH CONTINUOUS SEALANT JOINT AT PERIMETER OF FRAME - TYP.

1 1/4" LAMINATED BRONZE-TINTED SAFETY GLASS IN BRONZE ALUMINUM WINDOW FRAME. PROVIDE CONTINUOUS SEALANT JOINT PERIMETER OF BOTH SIDES OF FRAME.

8" SPLIT FACE GALTU COLOR AS SELECTED BY OWNER SEALED WITH BLOCK-GUARD & GRANITITE CONTROL-PROTECTIVE TREATMENT

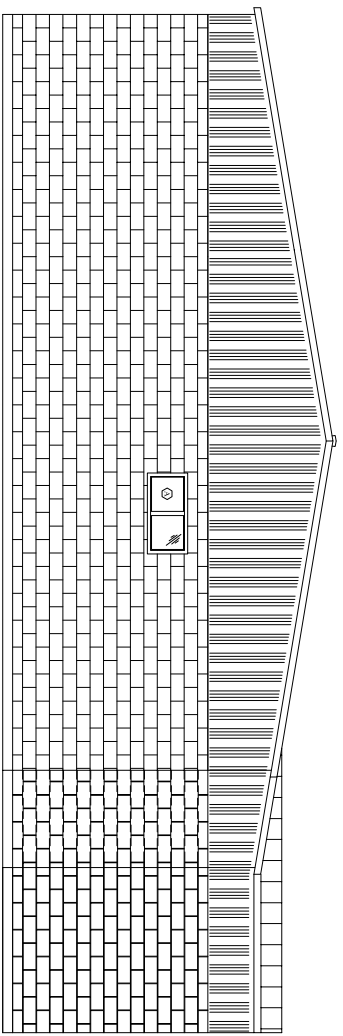
NON-STAINING GALVALUME FINISH 24 GA. STAINLESS STEEL FLASHING TO BATTENLOCK SYSTEM W/ 3" METAL RIDGE INSUL SYSTEM W/ VAPOR BARRIER AND NYLON HOLDING NET AND 6" BATT INSULATION IN REINFORCED VINYL NETTING

PRE-FINISHED METAL "SHADOW RIP" WALL PANELS WITH TRIMS & ACCESSORIES REVD FOR PROPER INSTALLATION OR APPROVED



EAST ELEV.
SCALE: NTS

NORTH ELEV.
SCALE: NTS



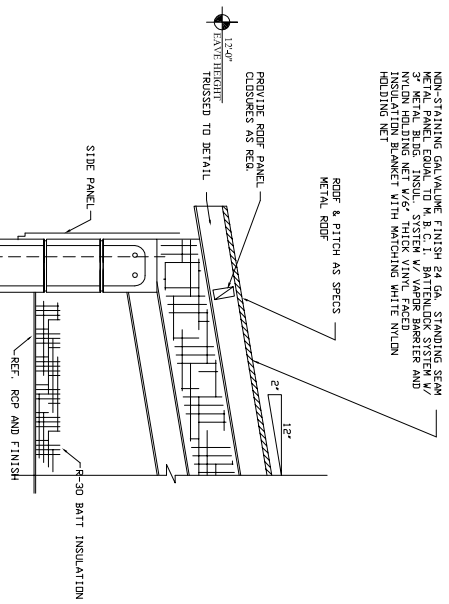
PROJECT: ADDRESS: 1822 N. SHARY RD. MISSION TX

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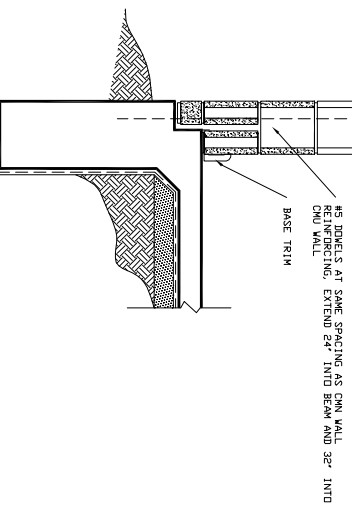
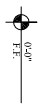
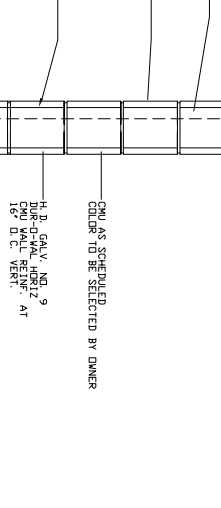
PAGE 3

CITY OF

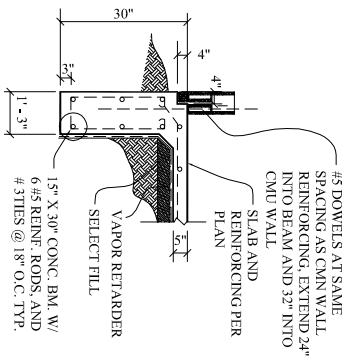
NON-STAINING GALVALUME FINISH 24 GA. STANDING SEAM METAL ROOF PANELS WITH 1/2" INSULATION SYSTEM VAPOR BARRIER AND 1/2" THICK VINYL FACED PLYWOOD HOLDING NET WITH MATCHING WHITE VINYL HOLDING NET



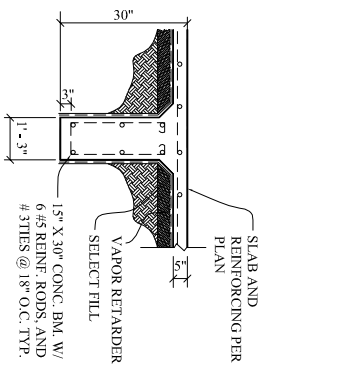
PROVIDE FOR FIBER IN PLACE CEMENT WALL INSULATION FULL HEIGHT REINFORCED CMU BOND BEAM AS REQUIRED



NOTE:
 1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY WORK AND SHALL VERIFY AND BE RESPONSIBLE FOR ALL THE INFORMATION THAT PERTAINS TO THE EXACT LOCATION OF ALL SITE UTILITIES THAT SHALL BE INCLUDED IN THE REQUIRED SURVEY. INFORMATION ON THE SITE PLAN IS FOR ILLUSTRATION PURPOSES ONLY.
 2. ALL WORK SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, STATE LAWS AND LOCAL CITY OF MISSION CODES AND ORDINANCES AS REQUIRED. CONTRACTOR IS TO BE HELD RESPONSIBLE FOR ANY VIOLATIONS OF THE PROPER CITY'S AND/OR COUNTIES' ORDINANCES UNDER WHICH THIS PROPERTY IS GOVERNED. (NO AFFIDAVITS WILL BE PERMITTED).
 3. CONTRACTOR SHALL CONTACT THE DEPARTMENT FOR ANY DISCREPANCIES ON DRAWINGS AND/OR SPECS.
 4. CONTRACTOR SHALL DELIVER THE PROJECT IN A BROOKMAP CLEAN CONDITION.
 5. CONTRACTOR SHALL FURNISH DEPT WITH ALL MANUFACTURERS AND SUPPLIER'S WRITTEN GUARANTEES AND WARRANTIES COVERING MATERIALS AND EQUIPMENT UNDER THE CONTRACT.



1
 TYP. EXT. BEAM DET.
 N.T.S.



2
 TYP. INT. BEAM DET.
 N.T.S.

FOUNDATION NOTE:
 1. CONSTRUCTION AREA REMOVE AT LEAST 6 INCHES OF TOP SOIL, VEGETATION, DEBRIS, ETC. FROM THE PROPOSED BUILDING AREA TO A DISTANCE OF 5'-0" OUTSIDE THE BUILDING LINE FROM THE PROPOSED.
 2. REWORK AND COMPACT THE TOP 6" OF THE EXPOSED SUBGRADE UNDER ALL FLOORS AND WALKS TO 95% OF THE MAXIMUM AT 0 TO +3% OF THE OPTIMUM MOISTURE CONTENT, IN ACCORDANCE WITH TEST METHOD ASTM D-698, PRIOR TO PLACEMENT OF SELECT FILL.
 3. FILL BACK TO REQUIRED GRADE (A MINIMUM OF 12" OF SELECT FILL IS REQUIRED).

NOTE:
 1. CONTRACTOR TO VERIFY LOCATION OF ANY/ALL DROPS IN SLAB WITH FLOOR PLANS
 2. CONTRACTOR TO VERIFY LOCATION AND SLOPES TO ALL FLOOR DRAINS IN PLANS

PROJECT DESCRIPTION:
 EXPANSION

ADDRESS:
 1822 N. SHARY RD. MISSION TX

OWNER NAME:
 CITY OF MISSION

LEGAL DESCRIPTION:
 CITY OF MISSION BANNWORTH PARK GYM EXPANSION PROJECT

PAGE
 5

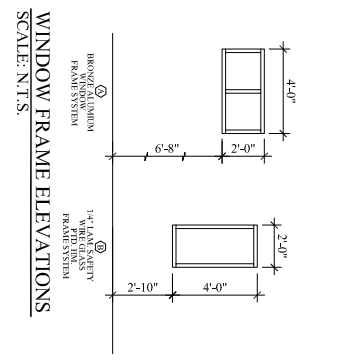
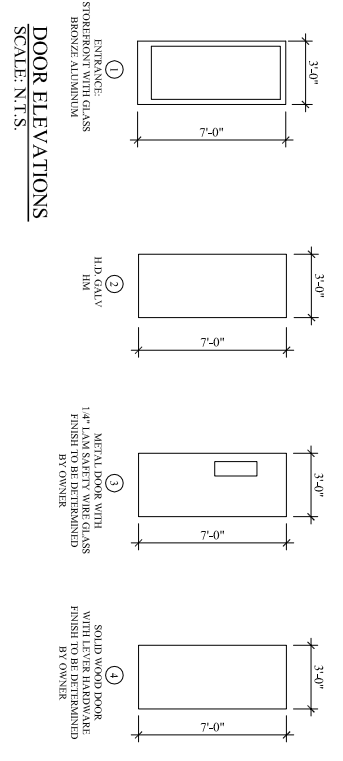


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DESCRIPTION
EXPANSION

ADDRESS:
1822 N. SHARY RD. MISSION TX
OWNER NAME:
CITY OF MISSION

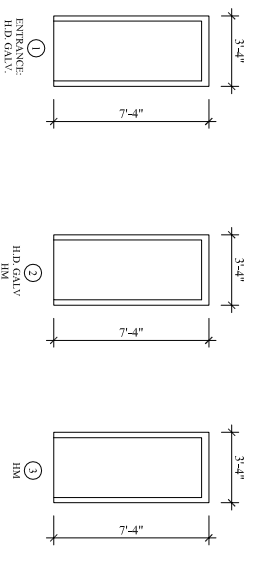
LEGAL DESCRIPTION:
CITY OF MISSION BANNWORTH PARK GYM EXPANSION PROJECT

PAGE
6

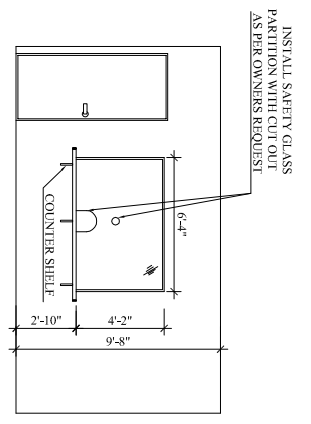


DOOR FRAME ELEVATIONS
SCALE: N.T.S.

NOTE: ALL GLAZING SHALL BE 1/4" WIRE GLASS
NOTE: PROVIDE FIRE RATED HARDWARE AT ALL FIRE RATED DOORS
NOTE: ALL EXTERIOR WINDOWS AND DOOR ASSEMBLIES SHALL BE CERTIFIED TO MEET THE PROJECT'S MINIMUM DESIGN PRESSURE REQUIREMENTS AS SPECIFIED IN THE PROJECT CONTRACT DOCUMENTS
NOTE: ALL EXTERIOR DOOR FRAMES TO BE HOT-DIPPED GALVANIZED REGARDLESS WHETHER NOTED OR NOT NOTED. (DOES NOT APPLY FOR ALUMINUM FRAMES)



RECEPTION COUNTER
SCALE: N.T.S.

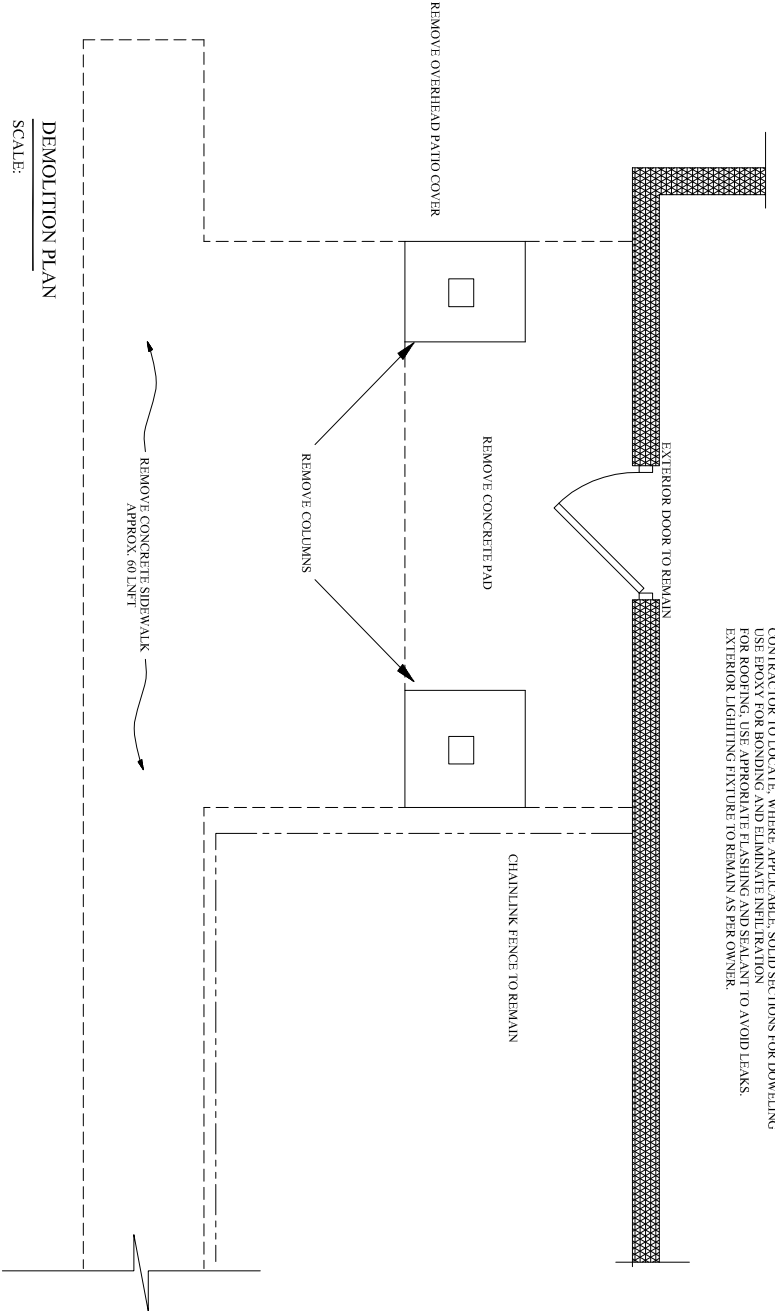


WINDOW FRAME ELEVATIONS
SCALE: N.T.S.

DEMOLITION NOTES

1. CONTRACTOR IS TO BEGIN DEMOLITION UPON NOTICE TO PROCEED FROM THE CITY.
2. CONTRACTOR IS TO DEMOLISH SPECIFIED STRUCTURE, ADJACENT STRUCTURES, TREES, PLANTS, SIDEWALKS AND DRIVEWAYS AS REQUIRED UNLESS OTHERWISE NOTED OR SPECIFIED ON PLANS. TYPICAL FENCES ALONG PROPERTY LINE THAT HAVE TO BE REMOVED TO GAIN ACCESS TO SITE WILL BE LEFT UNDELETED BY CONTRACTOR TO MAINTAIN THE PROPERTY LINE. CONTRACTOR SHALL MAKE NECESSARY TO PROTECT ALL THE EXISTING ITEMS TO REMAIN AND SHALL MAKE GOOD AT HIS OWN EXPENSE ANY PROPERTY DAMAGED BY THE CONTRACTOR DIRECTLY, INDIRECTLY OR BY NEGLIGENCE THAT MAY OCCUR OR RESULT FROM THE FULFILLMENT OF THE WORK SPECIFIED.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE PLANS AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS, SCOPE OF WORK, DEMOLITION REQUIREMENTS, AND NEW IMPROVEMENTS REQUIRED. NO ADDITIONAL COMPENSATION SHALL BE GIVEN TO THE CONTRACTOR FOR NOT FAMILIARIZING HIMSELF WITH THE WORK.
4. CONTRACTOR SHALL BE KNOWLEDGEABLE WITH AND PERFORM THE WORK IN STRICT ACCORDANCE WITH THE O.S.H.A. STANDARDS AND CONTRACT DOCUMENTS.
5. THE CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AT ALL TIMES AND REMOVE ALL DEBRIS FROM THE JOB SITE AS THE WORK PROGRESSES AND AT THE COMPLETION OF WORK AND THIS SHALL BE HAULLED TO APPROPRIATE LANDFILL AT NO EXTRA COST. CONTRACTOR SHALL PROVIDE THE CONSTRUCTION SITE WITH A CONTAMINMENT AREA IN A BIOTRASH BIN OR A WIRE MESH CONTAMINMENT AREA FOR CONSTRUCTION DEBRIS AND DISPOSED OF PROPERLY PRIOR TO FINAL INSPECTION.
6. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR COMPLETION OF THE PROJECT.
7. CONTRACTOR SHALL COMPLY WITH APP. MISSION PUBLICWORKS, TEXAS GAS CO. OR ANY OTHER UTILITY COMPANY REQUIREMENTS AND SHALL MAKE ALL ARRANGEMENTS NECESSARY FOR A COMPLETE AND PROPER INSTALLATION OF THE WORK INDICATED AND HEREIN SPECIFIED.
8. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND INFORM HIS/HER SUBCONTRACTORS INVOLVED IN THIS PROJECT OF ALL THE CITY'S REVISIONS ON PLANS AND GENERAL CONSTRUCTION NOTES WHEN THE BUILDING PERMIT IS ISSUED BY THE PERMIT/INSPECTION DIVISION DEPARTMENT FROM THE CITY OF MISSION.

NEW ADDITION TO ANCHOR INTO EXISTING STRUCTURE. CONTRACTOR TO LOCATE, WHERE APPLICABLE, SOLID SECTIONS FOR DOWELING USE EPOXY FOR BONDING AND ELIMINATE INFILTRATION FOR ROOFING. USE APPROPRIATE FLASHING AND SEALANT TO AVOID LEAKS. EXTERIOR LIGHTING FIXTURE TO REMAIN AS PER OWNER.



PROJECT DESCRIPTION:
EXPANSION

ADDRESS:
1822 N. SHARY RD. MISSION TX

OWNER NAME:
CITY OF MISSION

LEGAL DESCRIPTION:
CITY OF MISSION BANNWORTH PARK GYM EXPANSION PROJECT

SLOPE
DOWN

SLOPE
DOWN

SLOPE
DOWN

SLOPE
DOWN

NON-STAINING GALVALUME FINISH 24 GA. STANDING SEAM METAL
PANELS EQUAL TO M.B.C.I. BATTENLOK SYSTEM

RIDGE FLASHING

STANDING SEAM PANEL ROOFING
CONTRACTOR SHALL PROVIDE A MINIMUM OF 3 ROOF SAMPLES
TYPICAL PITCH = 2" ON 12"
OVERHANG = TYPICAL UNLESS OTHERWISE NOTED.
GALVALUME STEEL 24 GAUGE
RIB SPACING TO MANUFACTURE STANDARD
PANEL COVERAGE 18 INCHES

ROOF PLAN
SCALE: 3/16" = 1" - 0

PROJECT:
DESCRIPTION
EXPANSION

ADDRESS:
1822 N. SHARY RD. MISSION TX
OWNER NAME:
CITY OF MISSION

LEGAL DESCRIPTION:
CITY OF MISSION BANNWORTH PARK GYM EXPANSION PROJECT

PAGE
8

CITY OF MISSION



PROJECT:
DESCRIPTION
EXPANSION

ADDRESS:
1822 N. SHARY RD. MISSION TX

OWNER NAME:
CITY OF MISSION

LEGAL DESCRIPTION:
CITY OF MISSION BANNWORTH PARK GYM EXPANSION PROJECT

PAGE
10

CITY OF MISSION

MECHANICAL GENERAL REQUIREMENTS:
HVAC SHALL COMPLY WITH CHECKERS AND MANUAL J REPORTS. MECHANICAL CONTRACTOR IS TO FURNISH SUCH DOCUMENTS WITH THE PERMIT APPLICATION PRIOR TO ANY WORK. ALL ITEMS OF LABOR MATERIAL OR EQUIPMENT NOT IN DETAIL SHALL BE SUBJECT IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND APPLICABLE CODES. CONTRACTOR IS TO FOLLOW START-UP INSTRUCTIONS FROM MATERIAL VENDORS. THE CONTRACTOR SHALL WARRANTY HIS WORK AGAINST DEFECTIVE MATERIALS AND WORKSMANSHIP. THE CONTRACTOR SHALL VERIFY TO HIS OWN SATISFACTIONS THE LOCATION, ELEVATION AND AVAILABILITY OF ALL UTILITIES AND SERVICES REQUIRED, AND SHALL ADEQUATELY INFORM HIMSELF AS TO THEIR RELATION TO THE WORK. THE CONTRACTOR SHALL ALSO VERIFY LOCATIONS, CONDUCT ALL NECESSARY TESTS, INSPECTIONS, COORDINATE WITH OWNERS REPRESENTATIVES AND UTILITIES, AND CHECK FOR EXISTING UTILITIES

DIGITAL ADDRESSABLE FIRE ALARM SYSTEM:
NONCODED ADDRESSABLE SYSTEM WITH AUTOMATIC SENSITIVITY CONTROL SMOKE DETECTORS AND SIGNAL TRANSMISSION DEDICATED TO THE FIRE ALARM SERVICE. CONTRACTOR IS TO SUPPLY PLANS, ELEVATIONS, SECTIONS, DETAILS, AND ATTACHMENTS TO OTHER WORK.
1. TO COMPLY WITH RECOMMENDATIONS IN THE "DOCUMENT" SECTION OF THE "FUNDAMENTALS OF FIRE ALARM SYSTEMS" CHAPTER IN NFPA 72.
2. INCLUDE PERFORMANCE PARAMETERS AND INSTALLATION DETAILS FOR EACH DETECTOR, VERIFYING THAT EACH DETECTOR IS LISTED FOR COMPLETE RANGE OF AIR VELOCITY, TEMPERATURE, AND HUMIDITY POSSIBLE WHEN AIR-HANDLING SYSTEM IS OPERATING.

MECHANICAL:
1. DUCTS EXPOSED IN MECHANICAL ROOMS SHALL BE SHEETMETAL INTERNALLY LINED DUCTS. ALL OTHER DUCTS SHALL BE SHEETMETAL WITH EXTERNAL WRAP INSULATION UNLESS OTHERWISE SPECIFIED.
2. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES TO MAINTAIN ACCESS CLEARANCES FOR ALL MECHANICAL EQUIPMENT.
3. INSTALL VANDAL PROOF METAL ENCLOSURE FOR THERMOSTAT. PROVIDE WITH LOCK AND KEY.
4. PROVIDE AND INSTALL REFRIGERANT LINES PER MANUFACTURER RECOMMENDATIONS. PROVIDE INSULATION ON BOTH SUPPLY/RETURN LINES. REFRIGERANT LINES LOCATED ON EXTERIOR SHALL BE PROVIDED WITH ALUMINUM JACKET. ROUTE REFRIGERANT LINES TO ASSOCIATED AIR HANDLING UNITS.

FIRE PROTECTION SYSTEM:
ALL AREAS ARE TO BE PROTECTED BY AN AUTOMATIC SUPPRESSION SYSTEM (WET PIPE). CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGNING THE DISTRIBUTION SYSTEMS AND SIZING OF THE SYSTEMS BY HYDRAULIC CALCULATION; AND SHALL PROVIDE THE NECESSARY ENGINEERING DRAWINGS AND CALCULATIONS TO OBTAIN ACCEPTANCE OF ALL AUTHORITIES HAVING JURISDICTION.

NOTE:
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3. CONTRACTOR SHALL CONTACT ENGINEERING DEPARTMENT FOR ANY DISCREPANCIES ON DRAWINGS AND/OR SPECS.
4. CONTRACTOR SHALL DELIVER THE HOUSE IN A BROOM/NOF CLEAN CONDITION, (ENTIRE HOUSE, INCLUDING ALL THE MILL WORK) TYPICAL.
5. CONTRACTOR SHALL FURNISH ENGINEERING DEPT. WITH ALL MANUFACTURERS AND SUPPLIERS WRITTEN GUARANTEES AND WARRANTIES COVERING MATERIALS AND EQUIPMENT UNDER THE CONTRACT.



