



Date: October 29, 2018  
To: All Vendors  
Subject: Addendum #1

REFERENCE: **B004-19 BPUB Remodel of the Existing Administration Building Restrooms Renovations Project**

This Addendum forms part of the contract, and clarifies, corrects, or modifies original bid document.

**Please see attached Addendum #1.**

The signature of the company agent, for the acknowledgement of this addendum, shall be required. **Complete information below and return via email to [dsolitaire@brownsville-pub.com](mailto:dsolitaire@brownsville-pub.com) or via fax (956) 983-6367.**

I hereby acknowledge receipt of this addendum.

**Company:** \_\_\_\_\_

**Agent Name:** \_\_\_\_\_

**Agent Signature:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**City:** \_\_\_\_\_ **State:** \_\_\_\_\_ **Zip:** \_\_\_\_\_

If you have any further questions about the Bid, call 956-983-6366.

***Diane Solitaire***  
BY: Purchasing



## ADDENDUM NO. 01

Issued: October 29, 2018

To Plans and Specifications dated October 11, 2018

**BPUB Restrooms Renovation Project**  
**BROWNSVILLE PUBLIC UTILITIES BOARD**  
ERO Project No.: 16002A



A handwritten signature in black ink, appearing to read "Eli R. Ochoa", written over the bottom portion of the seal.

THE SEAL APPEARING ON THIS  
DOCUMENT WAS AUTHORIZED  
BY ELI R. OCHOA, AIA 18160  
DATED 10.29.18

## NOTICE TO PROPOSERS

- A. Receipt of this Addendum shall be acknowledged on the Proposal Form.
- B. This Addendum forms part of the Contract documents for the above referenced project and shall be incorporated integrally therewith.
- C. Each proposer shall make necessary adjustments and submit his proposal with full knowledge of all modifications, clarifications, and supplemental data included therein. Where provisions of the following supplemental data differ from those of the original Contract Documents, this Addendum shall govern.
- D. This addendum is generally separated into sections for convenience; however, all contractors, subcontractors, material men and other parties shall be responsible for reading the entire addendum. The failure to list an item or items in all affected sections of this addendum does not relieve any party affected from performing as per instructions, providing that the information is set forth one time in this addendum.

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## GENERAL

- Item No. G01. A Mandatory Pre-Bid Conference was held on October 24, 2018 at the Brownsville Public Utility Board (BPUB) offices at 1425 Robinhood Drive, Brownsville, Texas.
- Item No. G02. CLARIFICATION – Times and deadlines for Project Questions & Answers:
  - 1. Contractor are to turn in Questions to BPUB by October 25<sup>th</sup>, at 5:00 pm.
  - 2. BPUB is to provide answers to all Contractor's Questions by Monday, October 29<sup>th</sup>, 2018 at 5:00 pm.
- Item No. G03. CLARIFICATION – Contractors shall be required to provide a portable ADA-compliant Restroom with lavatory and AC. Contractor shall be responsible for providing backup generator (no electricity will be provided by BPUB), Cleaning it and maintaining it stocked with bathroom amenities (toilet paper, paper towels, etc.).
- Item No. G04. CLARIFICATION – Contractors are hereby notified that the project's Demolition Permit and Building Permit will be the responsibility of the Architect and Owner and NOT the Contractor. An Asbestos Report (if needed) shall be provided by the owner.
- Item No. G05. CLARIFICATION – Contractors are hereby notified that if the Existing Elevator is used by the Contractor, it SHALL be covered and protected from dust, debris and any other construction materials at all times. Upon completion of the project, an Elevator inspection & certification shall be performed by the Owner and any shortcomings of obtaining these shall be the responsibility of the Contractor.
- Item No. G06. CLARIFICATION – Contractors are hereby notified of the attached **Exhibit "A"** depicting Staging Areas and placement of portable restroom facility. Upon completion of the project, Contractor shall be responsible for restoring all grass and landscaping impacted (approx. 100' x 100' area to be sodded). Grass and/or Sodding shall not be paid for directly but be subsidiary to all other bid items.
- Item No. G07. CLARIFICATION – All removed existing equipment, fixtures and debris shall become the property of the Contractor and removed from project premises.
- Item No. G08. CLARIFICATION – Contractors are hereby notified that the owner, BPUB, shall provide all fixtures for all restrooms (ie: lavatories, toilets, etc.).

- Item No. G09. CLARIFICATION – Contractors are hereby notified that construction debris dumpsters shall not exceed the 30 c.y. dumpster size.
- Item No. G10. CLARIFICATION – Contractors are hereby notified of the following Mandatory Demolition hours for the project:
1. Weekdays: Monday-Thursday, 5:00 pm – 6:00 am.
  2. Weekends: Friday 5:00 pm – Monday 6:00 am.
- Item No. G11. CLARIFICATION – Contractors are hereby notified of Project Completion time shall be increased from 90 Calendar Days to 120 Calendar Days.
- Item No. G12. CLARIFICATION – Contractors are hereby notified of the attached **Exhibit “B”** depicting a north/south building section from the original Construction Drawings of the BPUB Existing Building, to be used as reference for building elevations.

## **PROJECT MANUAL**

- Item No. S01 Contractors are hereby notified of the revised BID SCHEDULE attached herein.
- Item No. S02 Specification Section **01 21 00 ALLOWANCES**. PART 3, Section 3.03 SCHEDULE OF ALLOWANCES – Add the following two allowances:

C. Allowance No. 3 – Exhaust Fans Allowance: Include an allowance of \$5,000.00.

D. Allowance No. 4 – Fire Sprinkler Head protection and/or relocation Allowance: Include an allowance of \$7,200.00 (\$1,200.00/Restroom).

## **PLANS**

- Item No. P01. Sheet **AE101 – 1ST FLOOR LOBBY RESTROOMS**. Replace sheet in its entirety – Sheet has been revised to show added Demolition Keynote and revisions on Detail 10, and Detail 11.

## **MEP**

See Attached Halff Associates, Inc. Addendum No. 1 (3 pages)

END OF ADDENDUM NO. 2  
*(10 pages of Attachments Follow)*



BPUB Restrooms Renovation Project Addendum #1 - Exhibit "A"

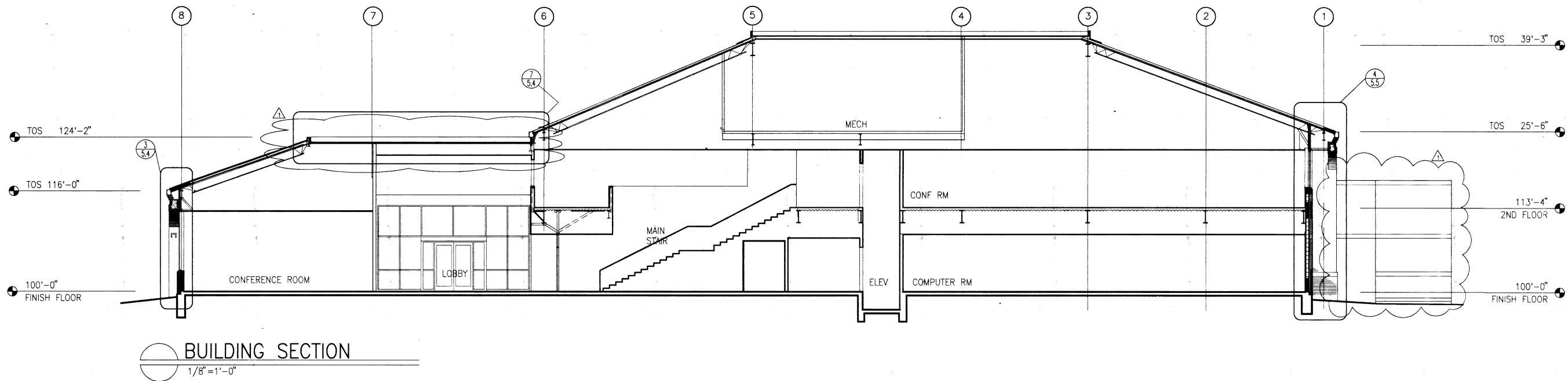


Date: 10/26/2018 Drawn by: LGM

**DISCLAIMER - PUBLIC UTILITIES OF BROWNSVILLE**

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**THIS MAP IS FOR REFERENCE ONLY**



PROJECT NAME  
**BROWNSVILLE PUB  
ADMINISTRATION BUILDING  
RESTROOMS RENOVATION**

PROJECT LOCATION  
1495 ROBINHOOD DR.,  
BROWNSVILLE, TX 78521

PROJECT OWNER  
BROWNSVILLE PUBLIC UTILITIES BOARD

PROJECT NO.: 16002A

DRAWN BY: Author

CHECKED BY: Checker

SHEET TITLE:

001

EXHIBIT "B"

## BID SCHEDULE

### BROWNSVILLE PUBLIC UTILITIES BOARD B004-19

The Bidder, in compliance with the invitation for informal bids for the ***BPUB Remodel of the Existing Administration Building Restroom Renovation Project***, having examined the scope of work and written specifications, hereby proposes to furnish a “turn-key” job with Labor, Equipment, Materials, and Parts for the following total amounts:

ITEM NO.	ITEM DESCRIPTION				TOTAL COST
Items	DESCRIPTION (Write Unit Price in Words)	Est. Qty.	Unit	Unit Price	Costs
<b>Bathroom Remodeling/ Improvements</b>					
<b>1</b>	Demolition of existing corroded copper pipe  Complete In-Place for  Dollars  and Cents		LF	\$	\$
<b>2</b>	1" Copper pipe  Complete In-Place for  Dollars  and Cents		LF	\$	\$
<b>3</b>	1" Conduit    Dollars  and Cents		LF	\$	\$

4	2" Conduit  Complete-in Place  Dollars and Cents		LF	\$	\$
5	Ceramic tile labor installation  Complete-in-Place for  Dollars and Cents		SF	\$	\$
6	Suspended Acoustical Ceiling labor & materials installation  Complete-in-Place for  Dollars and Cents		SF	\$	\$
<b>GENERAL CONSTRUCTION</b>					
7	N/A Complete-in-Place for  Dollars and Cents			\$	\$
<b>TOTAL BID AMOUNT (ITEMS 1- 6):</b>				<b>\$</b>	

TOTAL LUMP SUM ITEM

**TOTAL AMOUNT:**

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(written in words)

NOTE: The Brownsville PUB reserves the right to increase or decrease quantities as deemed necessary.

BIDDER Acknowledges receipt of the following addenda:

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SUBCONTRACTORS. The undersigned BIDDER proposes that they will be responsible to perform the work at the project site with their own forces and that specific portions of the work not performed by the undersigned will be subcontracted and performed by the following subcontractors.

Work Subcontracted	Name of Subcontractor
<hr/>	<hr/>
<hr/>	<hr/>
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<hr/>	<hr/>
<hr/>	<hr/>
<hr/>	<hr/>

Amounts are to be shown in both words and figures. In case of discrepancy, the amount written in words will govern.

The above unit prices shall include all labor, materials, excavation, bailing, shoring, removal, backfill, overhead, profit, insurance, etc., to cover the finished work of the several kinds called for.

BIDDER understands that the OWNER reserves the right to reject any or all bids and to waive any informalities in the bidding.

BIDDER agrees that this bid shall be good and may not be withdrawn for a period of ninety (90) days after the scheduled closing time for receiving bids.

The undersigned hereby declares that only the persons or firms interested in the bid as principal or principals are named herein, and that no other persons or firms than are herein mentioned have any interest in this bid or in the contract to be entered into; that this Bid is made



without connection with any other person, company, or parties likewise submitting a bid or proposal; and that it is in all respects for and in good faith, without collusion or fraud.

Upon receipt of written notice of the acceptance of this bid, BIDDER will execute the formal contract attached within ten (10) days and deliver the Insurance Certificates as required under EXHIBIT C.

seal affixed here  
if BID is by a Corporation:

Respectfully submitted,

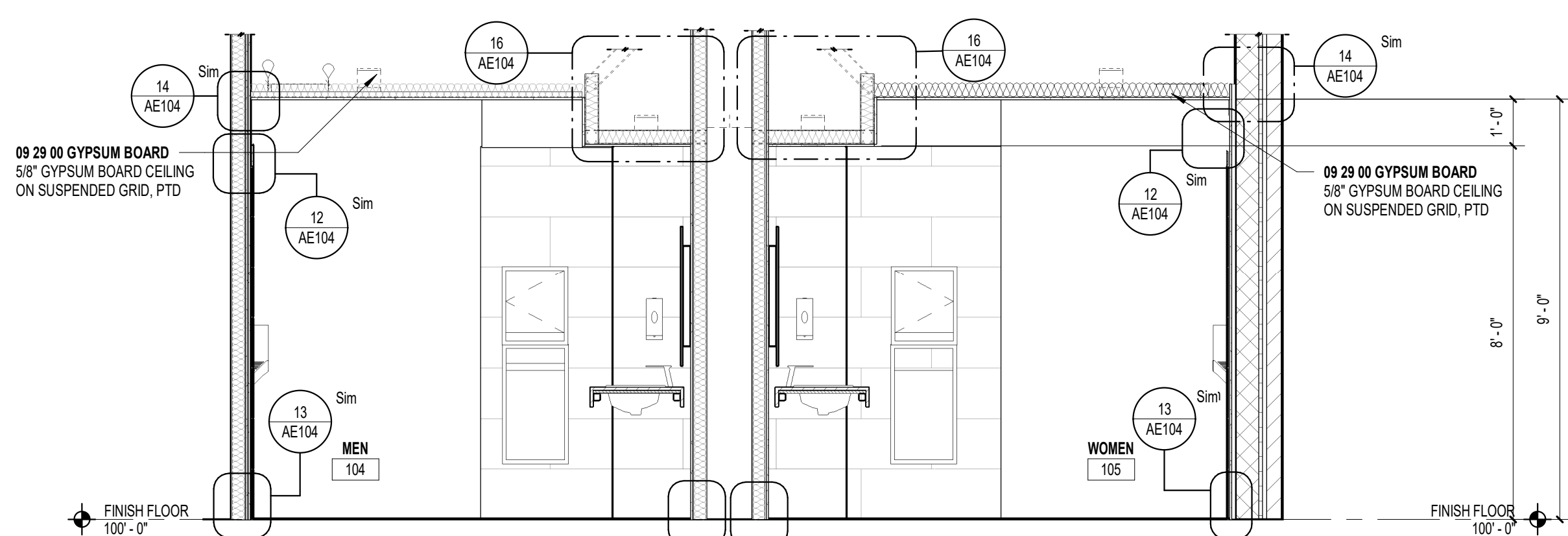
By: \_\_\_\_\_  
Signature **(Failure to sign disqualifies bid)**

\_\_\_\_\_  
Title

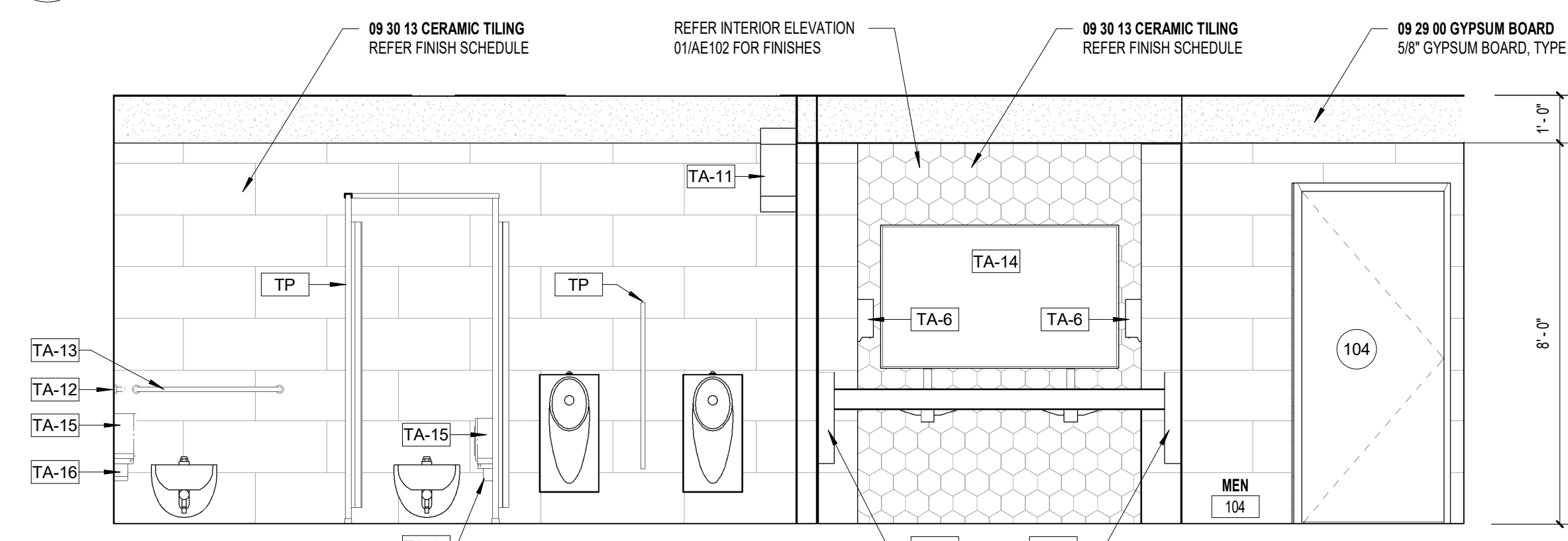
\_\_\_\_\_  
Address

Attest: \_\_\_\_\_

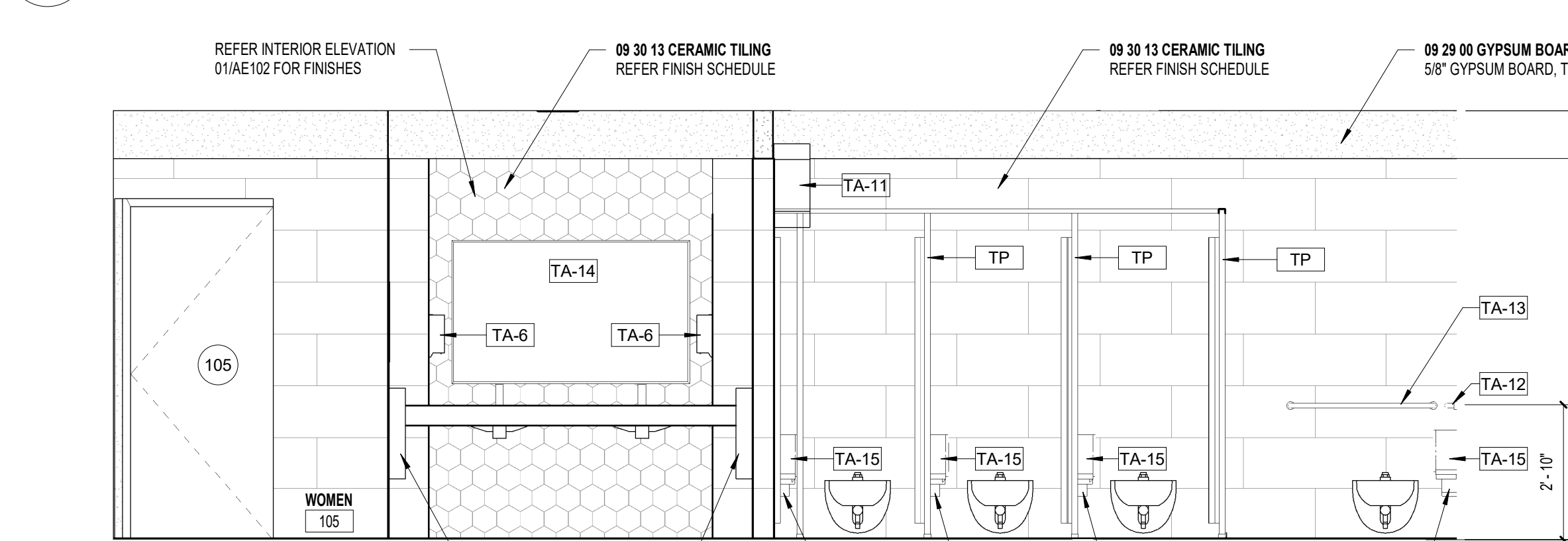




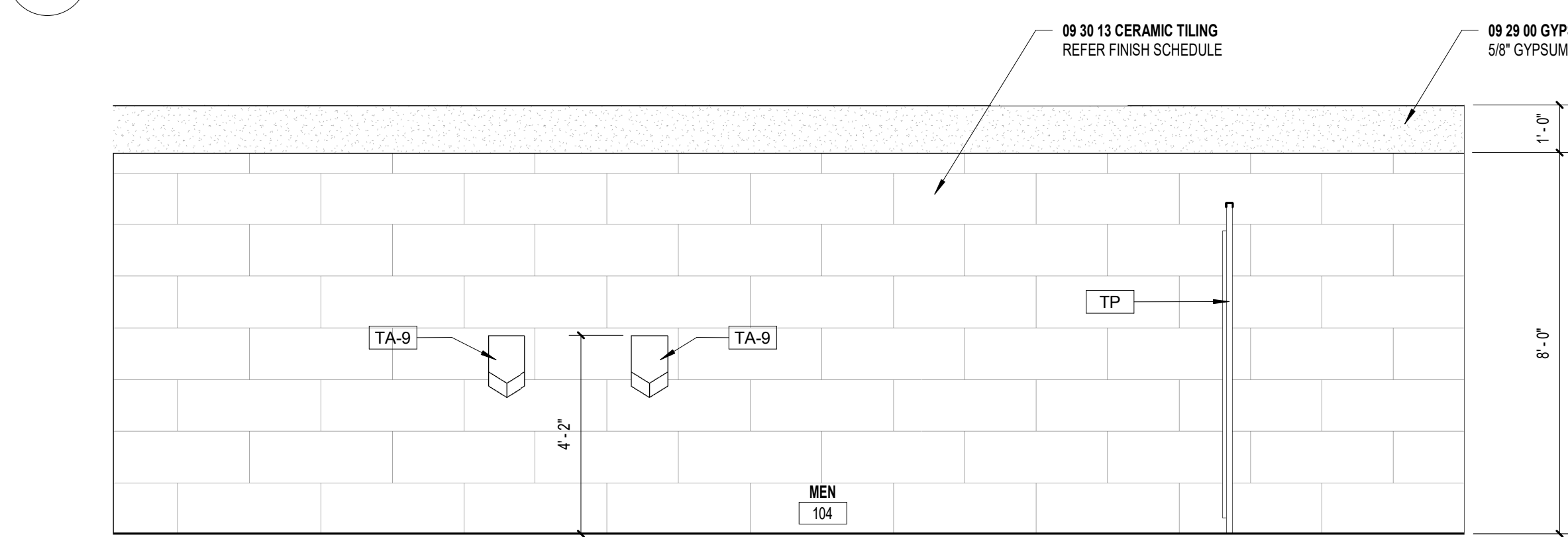
01 PARTIAL BUILDING SECTION  
3/8" = 1'-0"



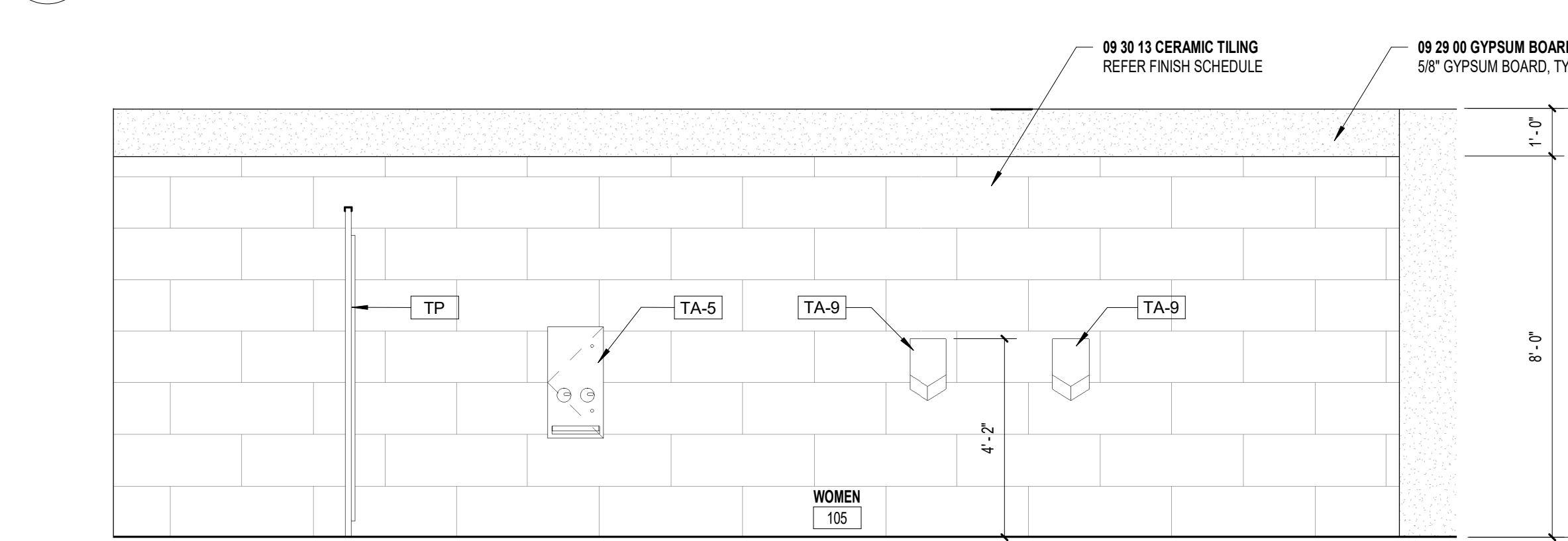
02 INTERIOR ELEVATION  
3/8" = 1'-0"



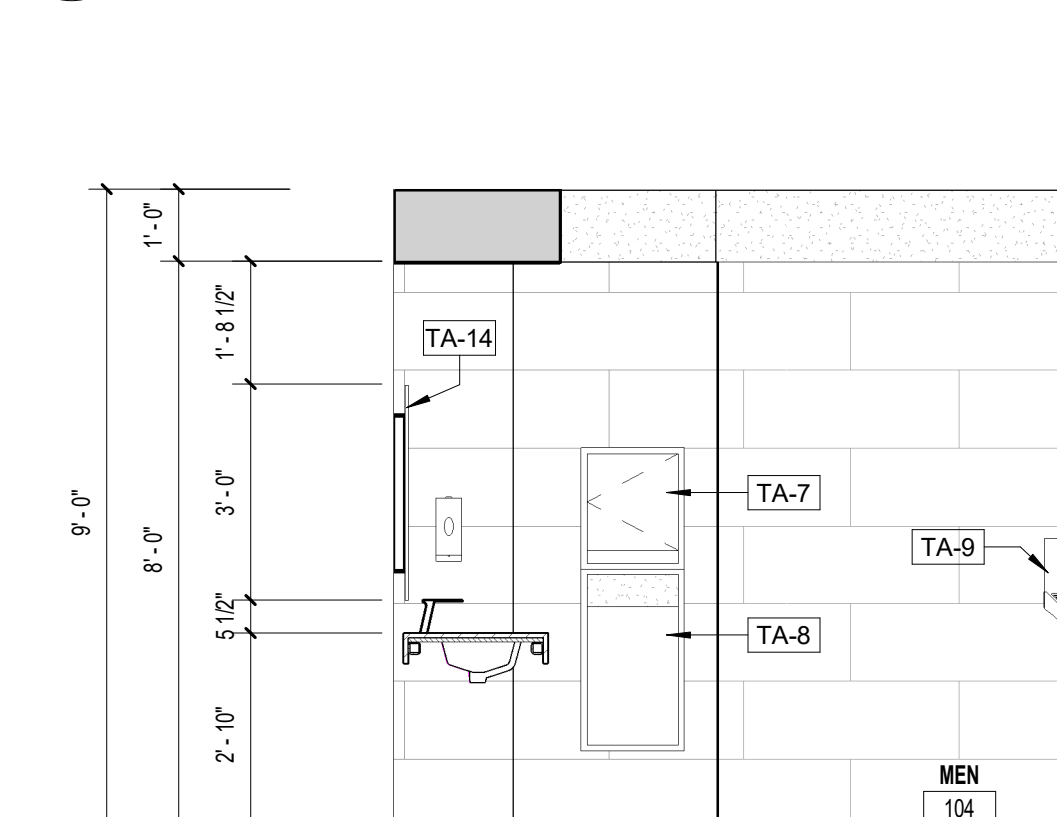
03 INTERIOR ELEVATION  
3/8" = 1'-0"



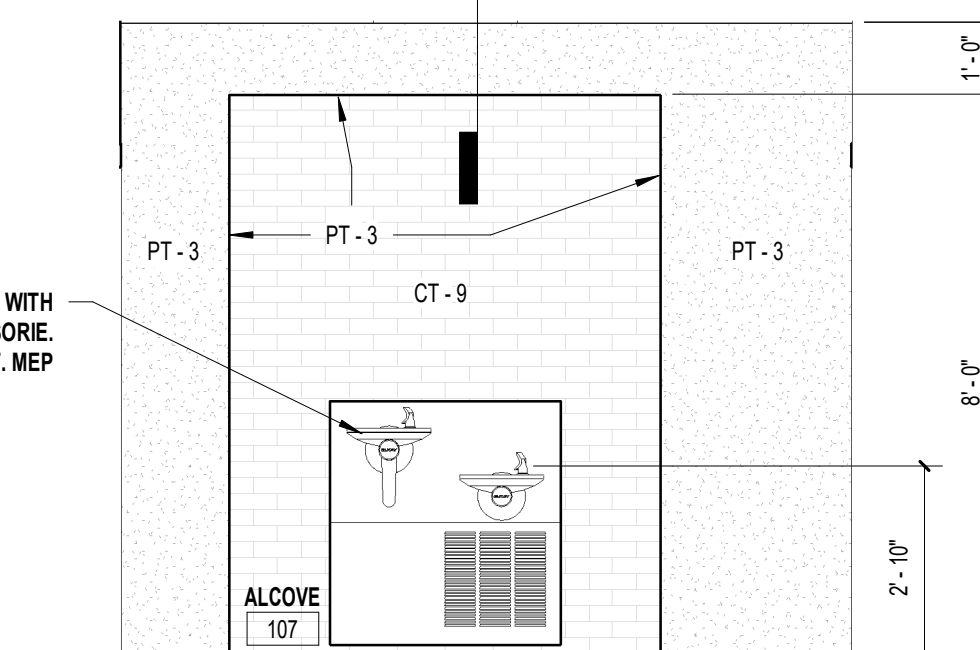
06 INTERIOR ELEVATION  
3/8" = 1'-0"



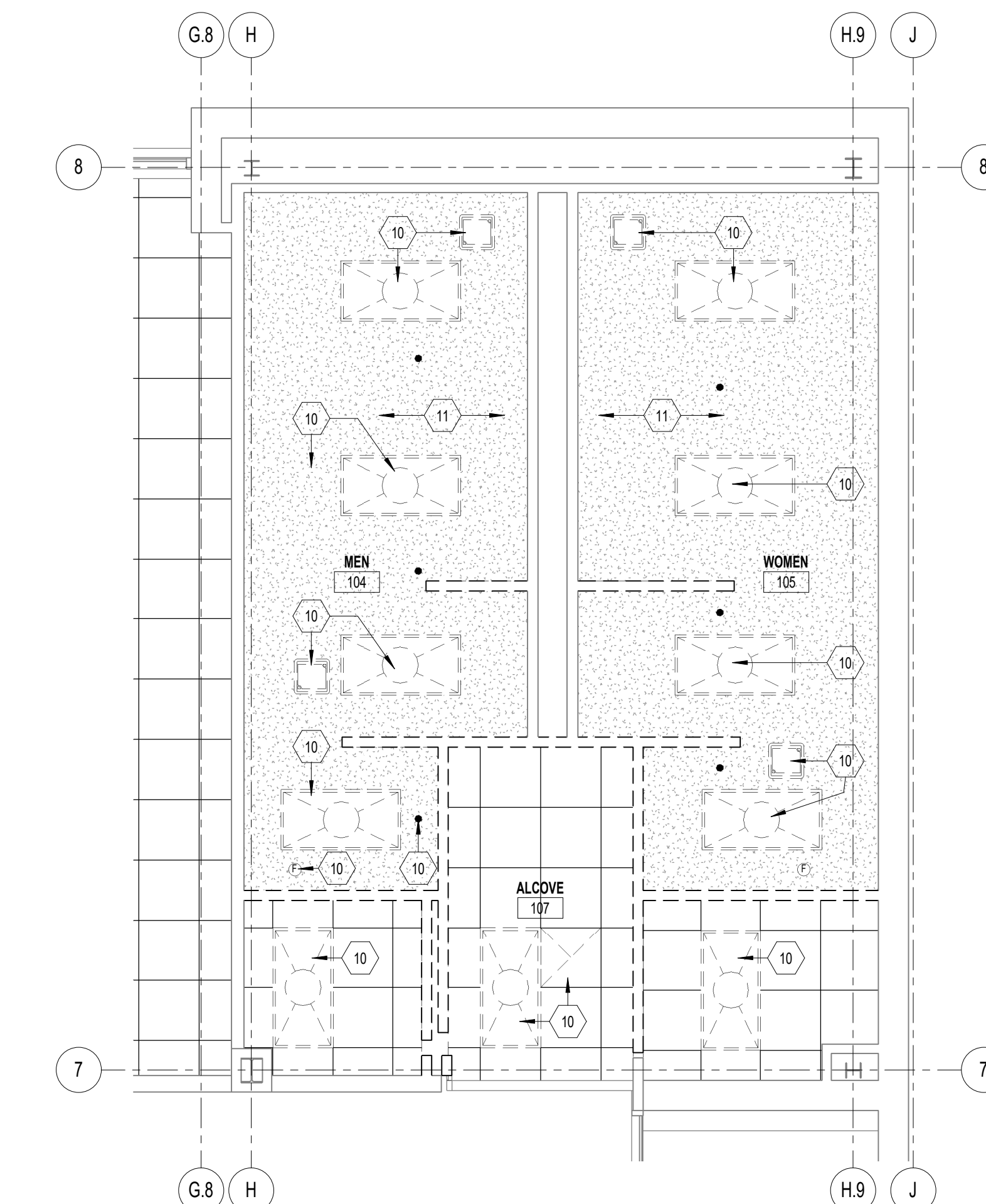
07 INTERIOR ELEVATION  
3/8" = 1'-0"



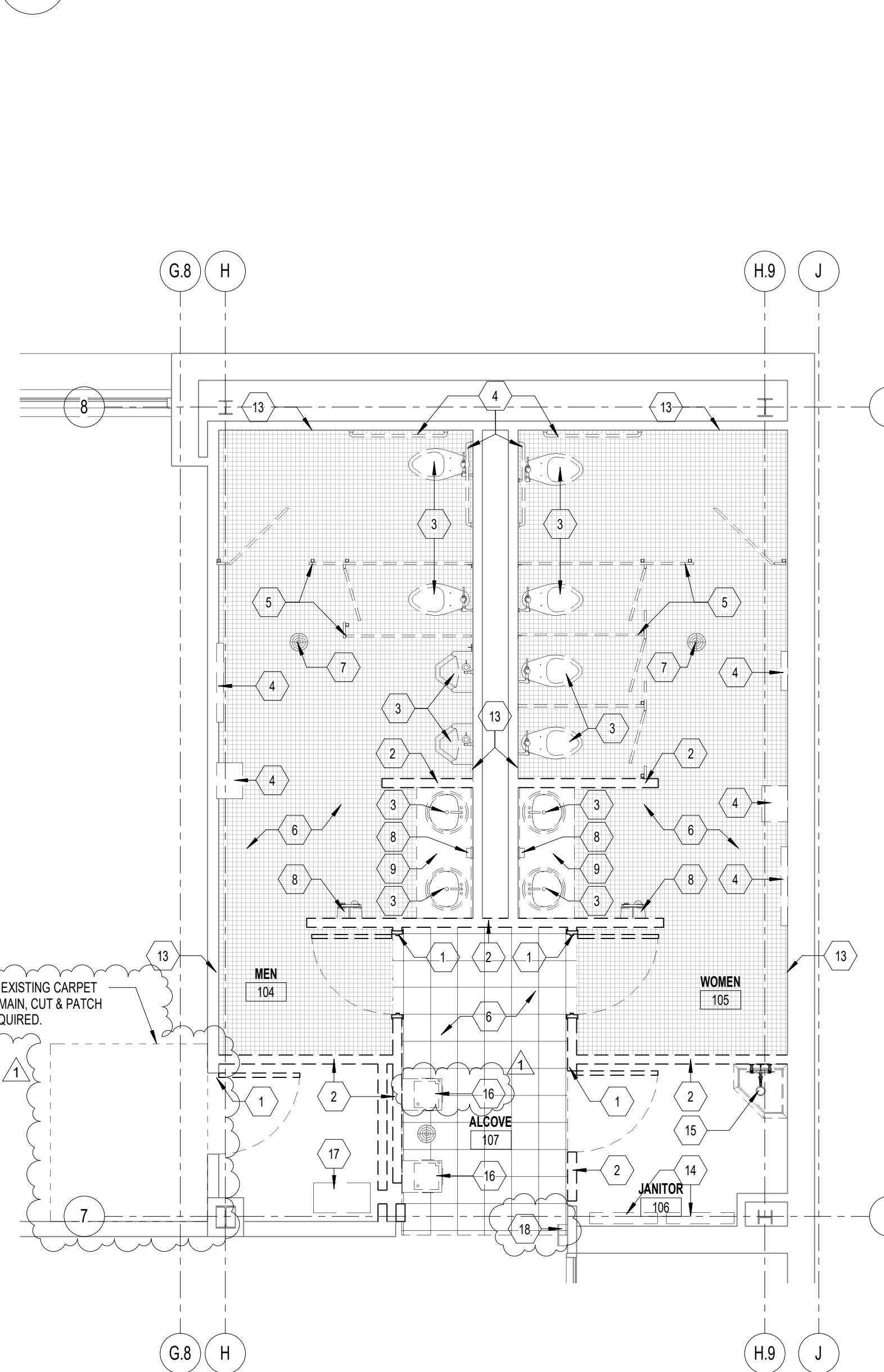
08 INTERIOR ELEVATION  
3/8" = 1'-0"



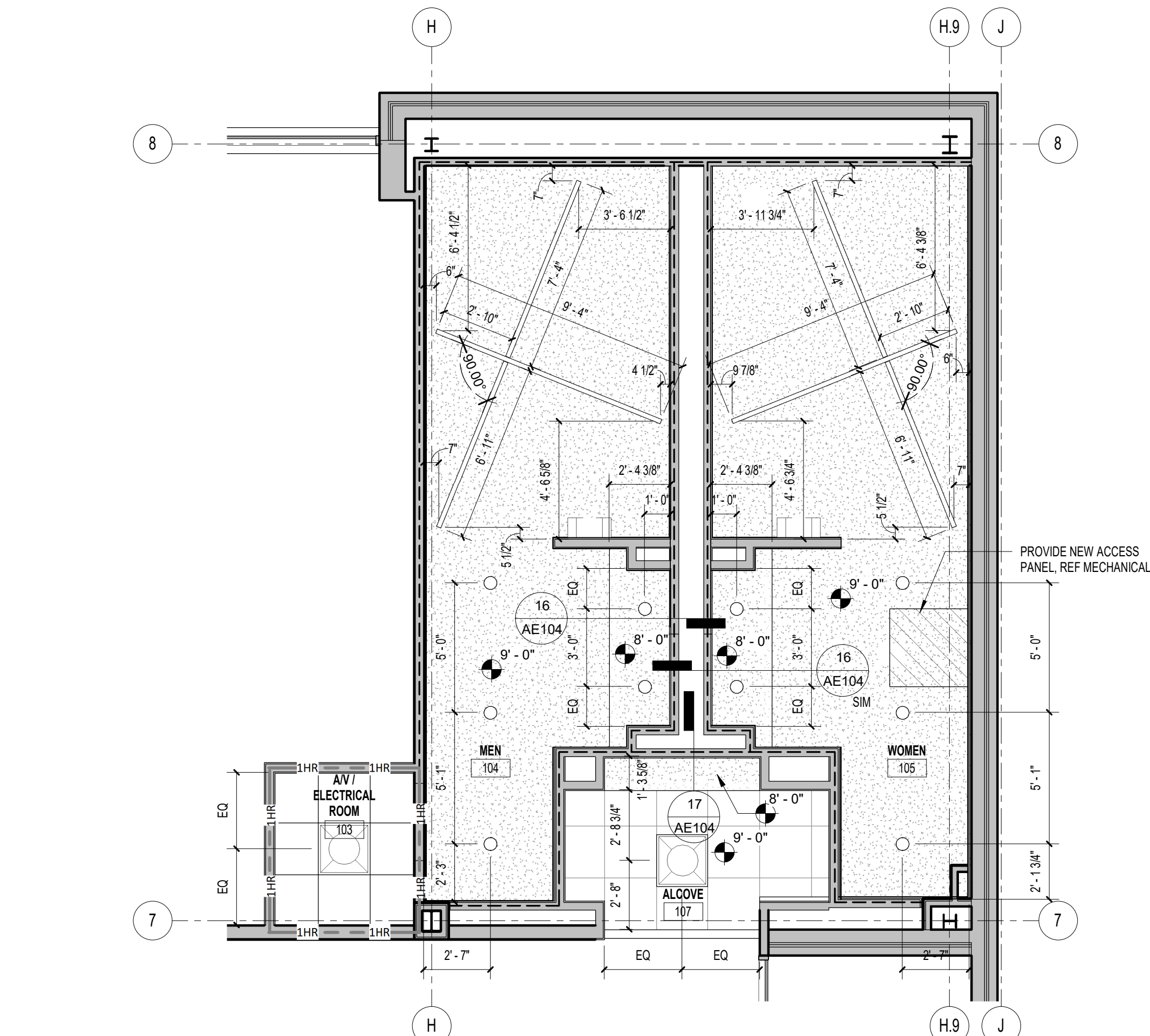
09 INTERIOR ELEVATION  
3/8" = 1'-0"



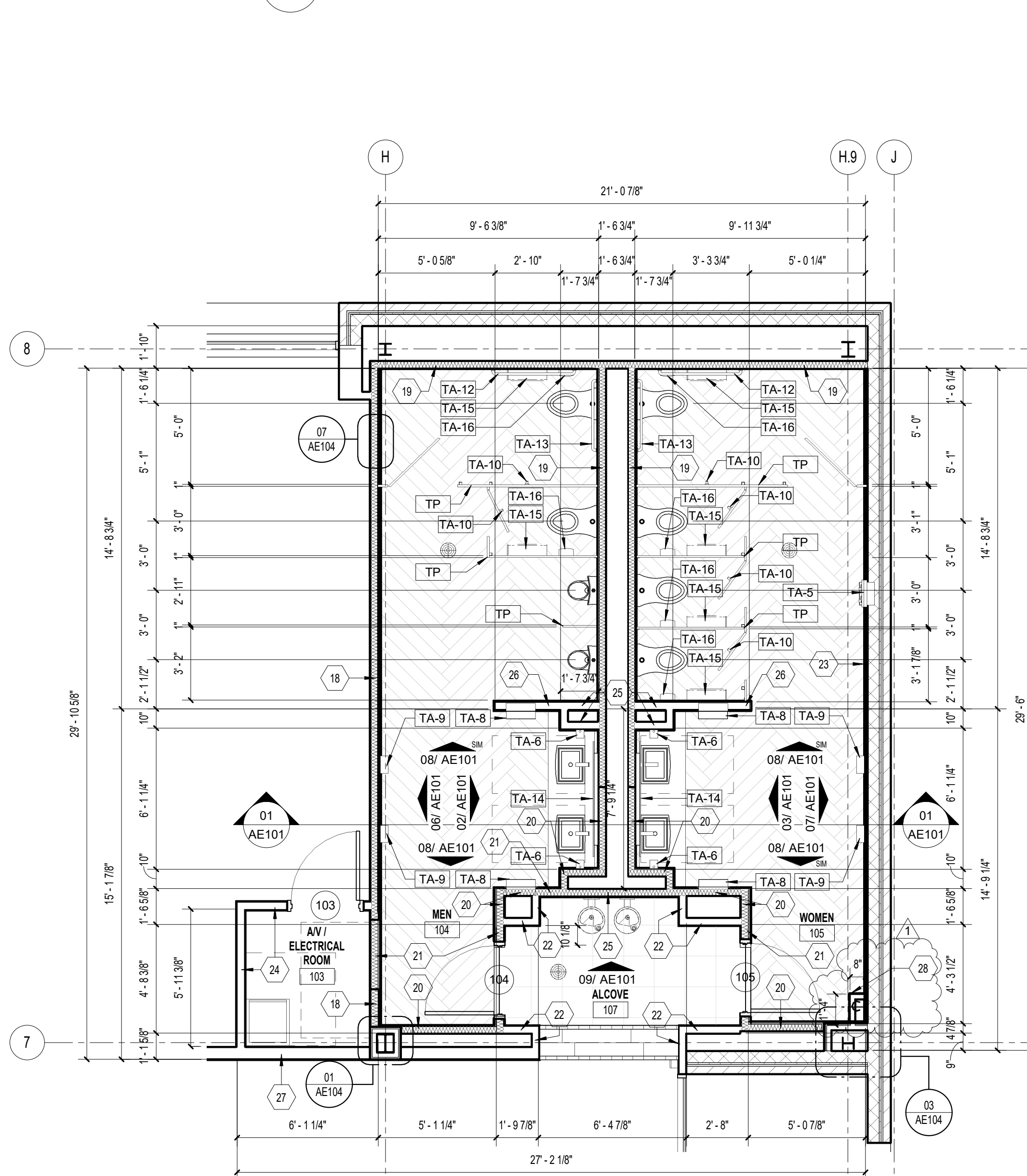
04 DEMOLITION FIRST FLOOR RCP  
1/4" = 1'-0"



10 DEMOLITION FIRST FLOOR RESTROOM PLAN - LOBBY  
1/4" = 1'-0"



05 RENOVATION FIRST FLOOR RCP  
1/4" = 1'-0"






11 RENOVATION FIRST FLOOR RESTROOM PLAN  
1/4" = 1'-0"

RCP LEGEND		TOILET ACCESSORIES	
	CEILING TYPE 1 5/8" GYPSUM BOARD CEILING ON GRID SUSPENSION SYSTEM FOR GYPSUM BOARD CEILINGS. PTD. SEE H4/E104 & 15A/E104 FOR TYPICAL DETAILS	TYPE MARK	TYPE
		TA-1	RECESSED TOILET PAPER DISPENSER - B-3574
	CEILING TYPE 2 2 X 2 SUSPENDED ACoustICAL CEILING SYSTEM. BASIS OF DESIGN: ROCKFON ARTIC	TA-2	PARTITION MOUNTED DISPENSER - B-3571
		TA-3	SURFACE MOUNTED DISPENSER - B-3470
	DASHED LINE IN PARTITION INDICATES PARTITIONS EXTENSION TO STRUCTURE	TA-4	RECESSED TOILET PAPER DISPENSER - B-3574
		TA-5	SEMI-RECESSED SANITARY NAPKIN VENDOR-B-37054
	1 HR. FIRE RATED WALL	TA-6	SURFACE MOUNTED FOAM SOAP DISPENSER-B-2013
		TA-7	ELECTRIC PAPER TOWELS DISPENSER-B-29744
		TA-8	TRASH RECEPTACLE-B-3944
		TA-9	ELECTRIC HAND DRYER - VAB12
		TA-10	COAT HOOK-B-671 - 48" MAX. ON ADA COMPARTMENT
		TA-11	AIR PURIFIER DEVICE (BY OWNER)
		TA-12	42" GRAB BAR - W/ GRIPPING SURFACE FINISH
		TA-13	36" GRAB BAR - W/ GRIPPING SURFACE FINISH
		TA-14	36" X 48" FRAMES-HANDWR
		TA-15	MULTI-ROLL TOILET TISSUE DISPENSER - 5425 - BRADLEY CORP
		TA-16	SANITARY NAPKIN DISPOSAL - B270
		TP	TOILET PARTITIONS, REF. SPECS
		NOTE: LISTED MODEL NUMBERS & BRANDS ARE BASIS OF DESIGN. REF. SPECS FOR ADDITIONAL APPROVED MANUFACTURERS.	

DEMOLITION GENERAL NOTES
1. THE EXTENT OF DEMOLITION WORK IS SHOWN ON THE DRAWINGS. IT IS NOT POSSIBLE TO SHOW ALL REQUIRED DEMOLITION. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF DEMOLITION AND REMODELING WORK, AND FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED PRIOR TO SUBMITTING A BID AND COMMENCING WORK.
2. CONTRACTOR'S FORCES ARE RESTRICTED TO DESIGNATED AREAS.
3. THE GENERAL CONTRACTOR SHALL FURNISH AND MAINTAIN SATISFACTORY BARRICADES AND/OR OTHER SUITABLE BARRIERS AS REQUIRED TO PROVIDE PROTECTION TO THE PUBLIC AND WORKERS DURING ALL DEMOLITION ACTIVITIES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, EQUIPMENT AND FURNITURE THAT IS TO BE LEFT IN PLACE.
5. GRAPHIC REPRESENTATIONS THAT ARE NOT NOTED SHALL BE REFERENCED TO SIMILAR GRAPHIC REPRESENTATIONS THAT ARE CLEARLY NOTED. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION.
6. THE OWNER HAS THE RIGHT TO SALVAGE ANY AND ALL DEMOLISHED MATERIALS THAT ARE SCHEDULED FOR DEMOLITION BY CONTRACTOR.
7. ITEMS OR MATERIALS THAT ARE TO REMAIN, SHALL BE PATCHED, CLEANED, RUBBED, Sanded, FLOATED, ETC TO A "LIKE NEW" CONDITION, AS TO MATCH ADJACENT NEW SCHEDULED MATERIALS.
8. WHERE EXISTING STRUCTURE OR ELEMENTS ARE DAMAGED BY CONTRACTOR DURING DEMOLITION WHICH ARE NOT SCHEDULED TO BE REMOVED, CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGED ITEMS.
9. ALL DEMOLITION ACTIVITIES MUST BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
10. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. SUSPEND WORK IMMEDIATELY AND NOTIFY ARCHITECT AND OWNER.

# DEMOLITION FLOOR PLAN LEGEND

	EXISTING TO REMAIN
	EXISTING PARTITION TO BE DEMOLISHED
	EXISTING DOOR & FRAME TO BE REMOVED.

NOTE:

ALL OFFERS ARE STRONGLY ENCOURAGED TO VISIT THE SITE TO ASCERTAIN EXACT EXISTING CONDITIONS AND COMPONENTS RELATED TO THE EXECUTION OF THE WORK ITEMS DESCRIBED HEREIN. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.

AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUEST FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE OFFERER.

## DEMOLITION SHEET KEYNOTES

1. EXISTING DOOR, FRAME, AND HARDWARE ASSEMBLY TO BE DEMOLISHED. DISPOSE PER OWNER'S DIRECTIONS.
2. EXISTING METAL STUDS & GYP. BOARD PARTITION TO BE DEMOLISHED.
3. EXISTING PLUMBING FIXTURES TO BE REMOVED. DISPOSE PER OWNER'S DIRECTIONS.
4. EXISTING TOILET ACCESSORIES TO BE REMOVED. DISPOSE PER OWNER'S DIRECTIONS.
5. EXISTING TOILET PARTITIONS TO BE DEMOLISHED.
6. EXISTING CERAMIC TILE FLOORING TO BE DEMOLISHED.
7. EXISTING FLOOR DRAIN, REFER MEP DRAWINGS.
8. REMOVE HAND DRYERS, PAPER TOWEL DISPENSERS AND SOAP DISPENSERS AND RETURN TO OWNER.
9. DEMOLISH ALL MILLWORK.
10. DEMOLISH ALL LIGHT FIXTURES AND CEILING MOUNTED EQUIPMENT. REFER MEP DRAWINGS.
11. DEMOLISH GYPSUM BOARD CEILING.
12. EXISTING ELECTRIC DRINKING FOUNTAINS TO REMAIN.
13. DEMOLISH WALL, TILE, & GYPSUM BOARD, EXISTING METAL STUDS TO REMAIN.
14. ELECTRICAL PANELS TO BE RELOCATED. REFER ELECTRICAL.
15. EXISTING HOP SINK TO BE DEMOLISH. REFER PLUMBING.
16. ELECTRIC DRINKING FOUNTAINS TO BE DEMOLISH. REFER MEP.
17. AN VAPOR TO BE RELOCATED. REFER ELECTRICAL.
18. FIRE EXTINGUISHER CABINET TO REMAIN.

NOTE: DEMOLITION SCHEDULE TO BE COORDINATED WITH ARCHITECT AND OWNER.

FLOOR PLANS GENERAL NOTES
1. THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" (AIA, DOC. A201, 2007 EDITION) GOVERN THE WORK, UNLESS NOTED OTHERWISE. THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL.
2. IF DISCREPANCIES APPEAR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE HIGHER QUALITY, AND PRICE SHALL SUPERSEDE.
3. THE GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT AND THE ON-SITE CONDITIONS PRIOR TO BIDDING OR COMMENCING WORK.
4. BRING IMMEDIATELY TO THE ARCHITECT'S ATTENTION ANY ERRORS, OMISSIONS OR DISCREPANCIES. THE GENERAL SHALL BE RESPONSIBLE TO CORRECT ANY DEFECTIVE WORK CAUSED BY PROCEEDING WITH WORK WHEN CLARIFICATIONS FROM THE ARCHITECT WERE NOT SOUGHT.
5. EXAMINE SPECIFIED PRODUCTS AND SUBMIT WRITTEN EXCEPTIONS, OBJECTIONS, OR SUBSTITUTIONS WITH ANALYSIS AND RECOMMENDATIONS PRIOR TO SUBMITTING BID COSTS OR COMMENCING WORK.
6. THE RESPONSIBILITY FOR THE ADEQUACY OF PROPOSED SUBSTITUTIONS FALLS ON THE GENERAL CONTRACTOR. SHOULD A SUBSTITUTION PRODUCT FAIL TO PERFORM WHERE THE ORIGINALLY SPECIFIC PRODUCT WOULD HAVE PERFORMED, THE GENERAL CONTRACTOR SHALL PERFORM ANY NECESSARY WORK TO REMEDY/INCORPORATE THE ORIGINAL PRODUCT AT NO ADDITIONAL COST.
7. ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM THE APPROVAL OF FINAL PAYMENT, UNLESS STIPULATED OTHERWISE.
8. WHEREVER MATERIAL ARE STORED AT THE JOBSITE, THEY SHOULD BE PROTECTED FROM DAMAGE, VANDALISM, FIRE AND INCLEMENT WEATHER. THE GENERAL CONTRACTOR SHALL PRODUCE EVIDENCE OF INSURANCE FOR MATERIALS STORED PRIOR TO PAYMENT BY THE OWNER.
9. THE WORD "PROVIDE" SHALL MEAN "FURNISH AND INSTALL COMPLETE AND READY TO USE".
10. "TYPICAL" MEANS "IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE".
11. "SIMILAR" MEANS "COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS, ORIENTATION OR SYMMETRY ON RELATED DRAWINGS.
12. PROVIDE ALL REQUIRED UTILITY/STRUCTURAL COMPONENTS AND/OR CONNECTIONS FOR THE FUNCTIONAL USE OF ALL CONTRACTOR SUPPLIED EQUIPMENT OR APPLIANCES, REGARDLESS OF ANY OMISSIONS OR INCONSISTENCIES IN THE CONSTRUCTION DOCUMENTS.
13. INSTALL DRYWALL WORK IN ACCORDANCE WITH THE CURRENT VERSION OF U.S.G. - "GYPSUM CONSTRUCTION HANDBOOK, A.S.T.M. AT 642, A.S.T.M. AT 754, AND A.S.T.M. AT 840." THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL.
14. PROVIDE ALL ITEMS AND LABOR REQUIRED FOR A COMPLETE INSTALLATION OF A SYSTEM OR ASSEMBLY, INCLUDING BUT NOT LIMITED TO, REQUIRED BRACING, ACCESS PANELS, JUNCTION BOXES OR ITEMS CALLED FOR IN MANUFACTURER'S LITERATURE.
15. ALL PENETRATIONS THROUGH FIRE-RATED WALLS SHOULD BE PROVIDED IN ACCORDANCE WITH THE IBC 2012.
16. DO NOT SCALE DRAWINGS.
17. DO NOT ADJUST DIMENSIONS WITHOUT APPROVAL FROM THE ARCHITECT.
18. GRAPHIC REPRESENTATIONS THAT ARE NOT NOTED SHALL BE REFERENCED TO SIMILAR OR IDENTICAL CONDITIONS THAT ARE CLEARLY IDENTIFIED.
19. COORDINATE WITH THE CONSTRUCTION DOCUMENTS THE PARTITION TYPES AND THEIR THICKNESS FOR INTERNAL INCLUDING, SUCH AS PLUMBING AND FOR CORRECT INSTALLATION OF EQUIPMENT, PANELS, FIRE EXTINGUISHER, ETC.
20. REFER TO CEILING PLANS FOR INDICATIONS OF PARTITIONS EXTENDED TO BOTTOM OF STRUCTURE.
21. REFER TO A/E01 FOR DOOR & WINDOW TYPES, PARTITION TYPES, AND ROOM FINISH SCHEDULES.

FLOOR PLAN KEYNOTES
18. EXISTING PARTITION: PARTITION TO DECK. REPLACE ANY DAMAGED OR CORRODED METAL STUDS AND PROVIDE BATT INSULATION AS NOTED IN FLOOR PLAN. PROVIDE ONE LAYER OF 5/8" GLASS-MAT, WATER-RESISTANT BACKING BOARD OVER ONE LAYER OF 5/8" GYP. ON OCCUPIED SIDE. PROTECT EXISTING GYPSUM BOARD ON OPPOSITE SIDE. @ FIRE PARTITION - UL DESIGN 419 & TREAT AS PER HLT FIRESTOP SYSTEM HW-0-042 (UL DESIGN 2076).
19. EXISTING PARTITION: PARTITION TO DECK. REPLACE ANY DAMAGED OR CORRODED METAL STUDS AND PROVIDE BATT INSULATION AS NOTED IN FLOOR PLAN. PROVIDE ONE LAYER OF 5/8" GLASS-MAT, WATER-RESISTANT BACKING BOARD OVER ONE LAYER OF 5/8" GYP. ON OCCUPIED SIDE.
20. NEW PARTITION: PARTITION TO DECK. 3/8" METAL STUDS @ 16" O.C. W/ ONE LAYER OF 5/8" GLASS-MAT, WATER-RESISTANT BACKING BOARD OVER ONE LAYER OF 5/8" GYP. ON OCCUPIED SIDE. PROVIDE BATT INSULATION AS NOTED IN FLOOR PLAN.
21. NEW PARTITION: PARTITION TO DECK. 3/8" METAL STUDS @ 16" O.C. W/ ONE LAYER OF 5/8" GYP. BOARD TYPE X ON ONE SIDE & ONE LAYER OF 5/8" GLASS-MAT, WATER-RESISTANT BACKING BOARD OVER ONE LAYER OF 5/8" GYP. ON OPPOSITE SIDE. PROVIDE BATT INSULATION AS NOTED IN FLOOR PLAN. @ FIRE PARTITION - UL DESIGN 419 & TREAT AS PER HLT FIRESTOP SYSTEM HW-0-042 (UL DESIGN 2076).
22. NEW PARTITION: 1'-0" ABOVE ADJACENT HIGHEST CEILING. 3/8" METAL STUDS @ 16" O.C. W/ ONE LAYER OF 5/8" GYP. BOARD TYPE X ON OCCUPIED SIDE. PROVIDE BATT INSULATION AS NOTED IN FLOOR PLAN.
23. NEW PARTITION: 1'-0" ABOVE ADJACENT HIGHEST CEILING. 3/8" METAL STUDS @ 16" O.C. W/ ONE LAYER OF 5/8" GLASS-MAT, WATER-RESISTANT BACKING BOARD ON OCCUPIED SIDE.
24. NEW PARTITION: PARTITION TO DECK. 3/8" METAL STUDS @ 16" O.C. W/ ONE LAYER OF 5/8" GYP. BOARD TYPE X ON BOTH SIDES. PROVIDE BATT INSULATION AS NOTED IN FLOOR PLAN. @ FIRE PARTITION - UL DESIGN 419 & TREAT AS PER HLT FIRESTOP SYSTEM HW-0-042 (UL DESIGN 2076).
25. NEW PARTITION: 1'-0" ABOVE ADJACENT HIGHEST CEILING. 3/8" METAL STUDS @ 16" O.C. W/ ONE LAYER OF 5/8" GLASS-MAT, WATER-RESISTANT BACKING BOARD ON OCCUPIED SIDE.
26. NEW PARTITION: 1'-0" ABOVE ADJACENT HIGHEST CEILING. 3/8" METAL STUDS @ 16" O.C. W/ ONE LAYER OF 5/8" GLASS-MAT, WATER-RESISTANT BACKING BOARD ON BOTH SIDES.
27. EXISTING PARTITION TO BE TREATED AS FIRE RATED. PARTITION TO DECK. REPLACE ANY DAMAGED OR CORRODED METAL STUDS AND PROVIDE BATT INSULATION AS NOTED IN FLOOR PLAN. @ FIRE PARTITION - UL DESIGN 419 & TREAT AS PER HLT FIRESTOP SYSTEM HW-0-042 (UL DESIGN 2076).
28. FIRE SPRINKLER TEST DRAIN PIPE. FURR-OUT EXISTING FIRE SPRINKLER TEST DRAIN PIPE. FIELD VERIFY EXISTING CONDITIONS/DIMENSIONS TO MAINTAIN A MINIMUM OF 48" BETWEEN DOOR AND FURR-OUT. PROVIDE GRADE PAINTED LOCKABLE ACCESS PANEL FOR VALVE.

KEYPLAN
PLAN NORTH

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REGISTERED ARCHITECT  
STATE OF TEXAS  
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY E.R. OCHOA, A.A. 18193, DATED 10/29/2018  
ERO ARCHITECTS, INC. No. F-006

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**BROWNSVILLE PUB ADMINISTRATION BUILDING  
RESTROOMS RENOVATION**

1406 BROWNWOOD DR.  
BROWNSVILLE, TX 77821

PROJECT NAME: BROWNSVILLE PUBLIC UTILITIES BOARD  
PROJECT LOCATION: BROWNSVILLE, TX 77821  
PROJECT OWNER: BROWNSVILLE PUBLIC UTILITIES BOARD

Description	Date	Author	Checker
1	10/29/2018	16002A	

PROJECT NO.: 16002A  
DRAWN BY: Author  
CHECKED BY: Checker  
SHEET TITLE: 1ST FLOOR LOBBY RESTROOM

**AE101**

10/29/2018 3:18:58 PM



## **ADDENDUM 1 NARRATIVE**

**To:** ERO Architects **Date:** October 29, 2018  
**From:** Roberto H. Tijerina, P.E. **AVO:** 31922  
**Email:** [rTijerina@half.com](mailto:rTijerina@half.com) **Project:** Brownsville PUB Admin Bldg Renovations  
**Subject:** Addendum No. 1

---



### **MECHANICAL**

The following are clarification notes made to the plans and specifications. The changes are outlined by item number, as well as plan sheet number. The contractor shall replace original issued sheet with the Addendum 1 sheets in their entirety.

#### **Plans:**

##### **ITEM 1. Sheet MH101 – Mechanical Plan**

- a. Moved legend down to make key note 15 legible.

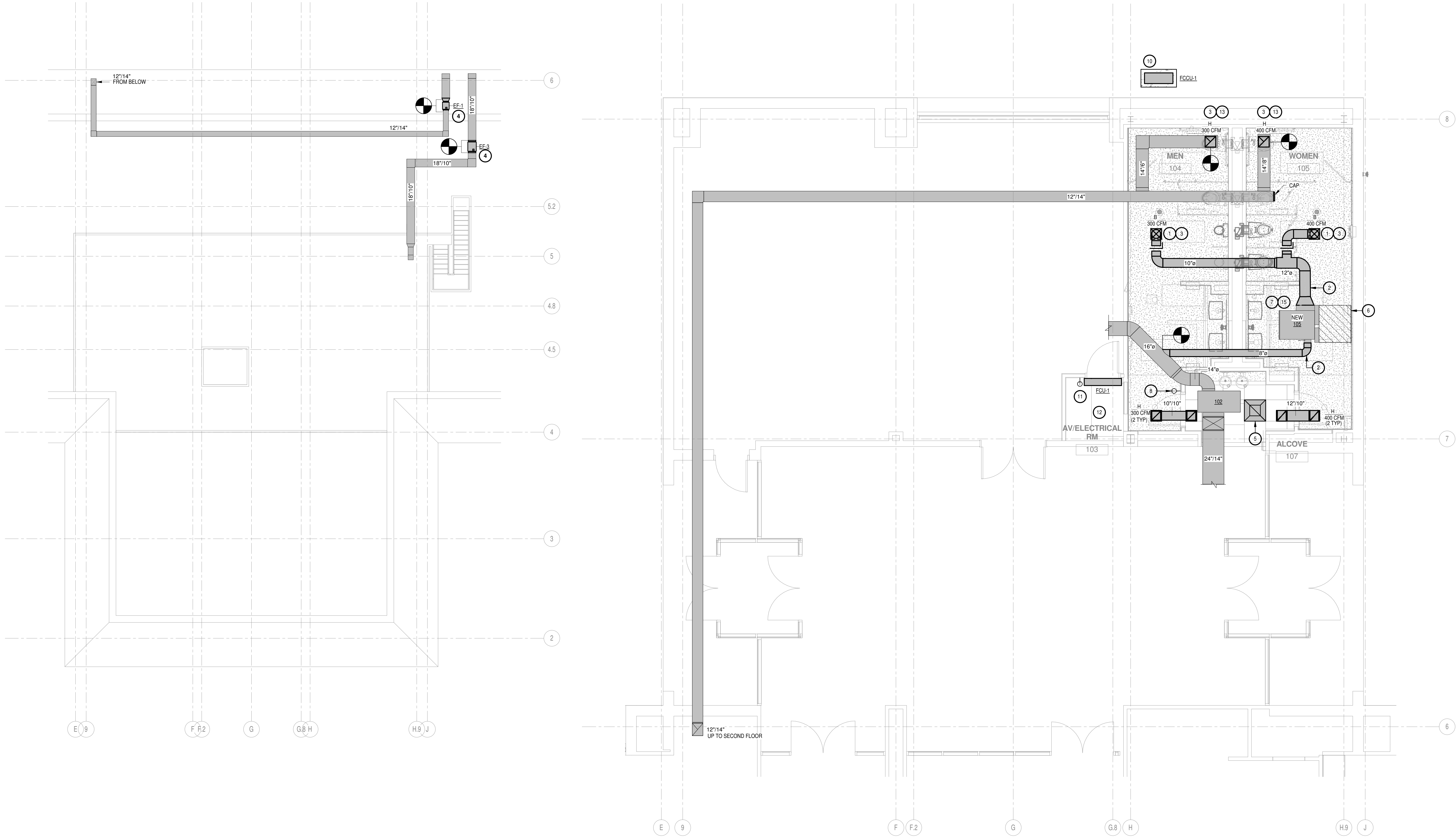
### **PLUMBING**

The following are clarification notes made to the plans and specifications. The changes are outlined by item number, as well as plan sheet number. The contractor shall replace original issued sheet with the Addendum 1 sheets in their entirety.

#### **Plans:**

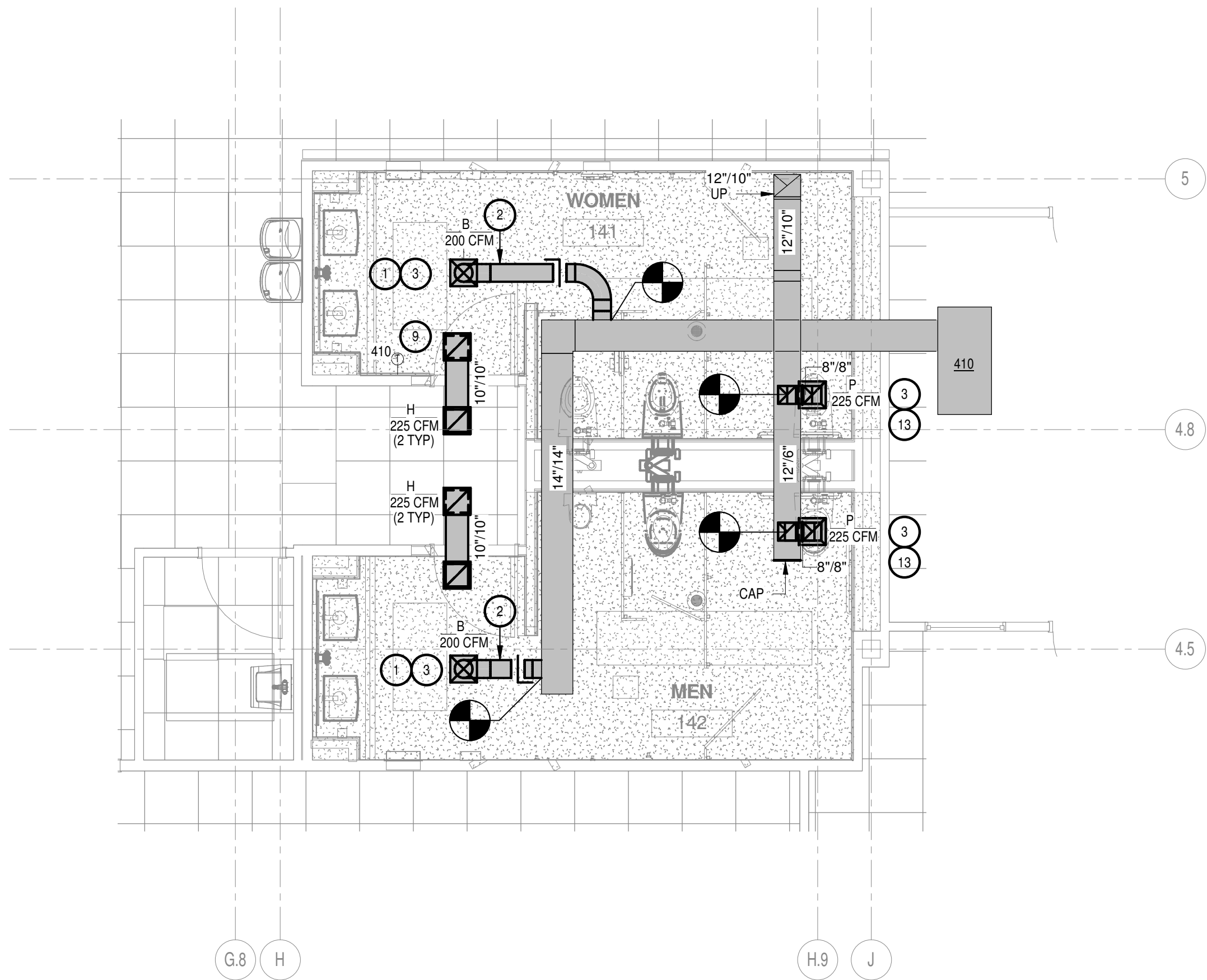
##### **ITEM 2. Sheet PL101 – Plumbing Plan**

- a. Added scope to provide a lockable access panel for the existing fire drain line located in janitor's closet.
- b. Added scope to include a licensed fire sprinkler contractor to modify existing sprinkler system piping and sprinkler heads serving remodeled areas.

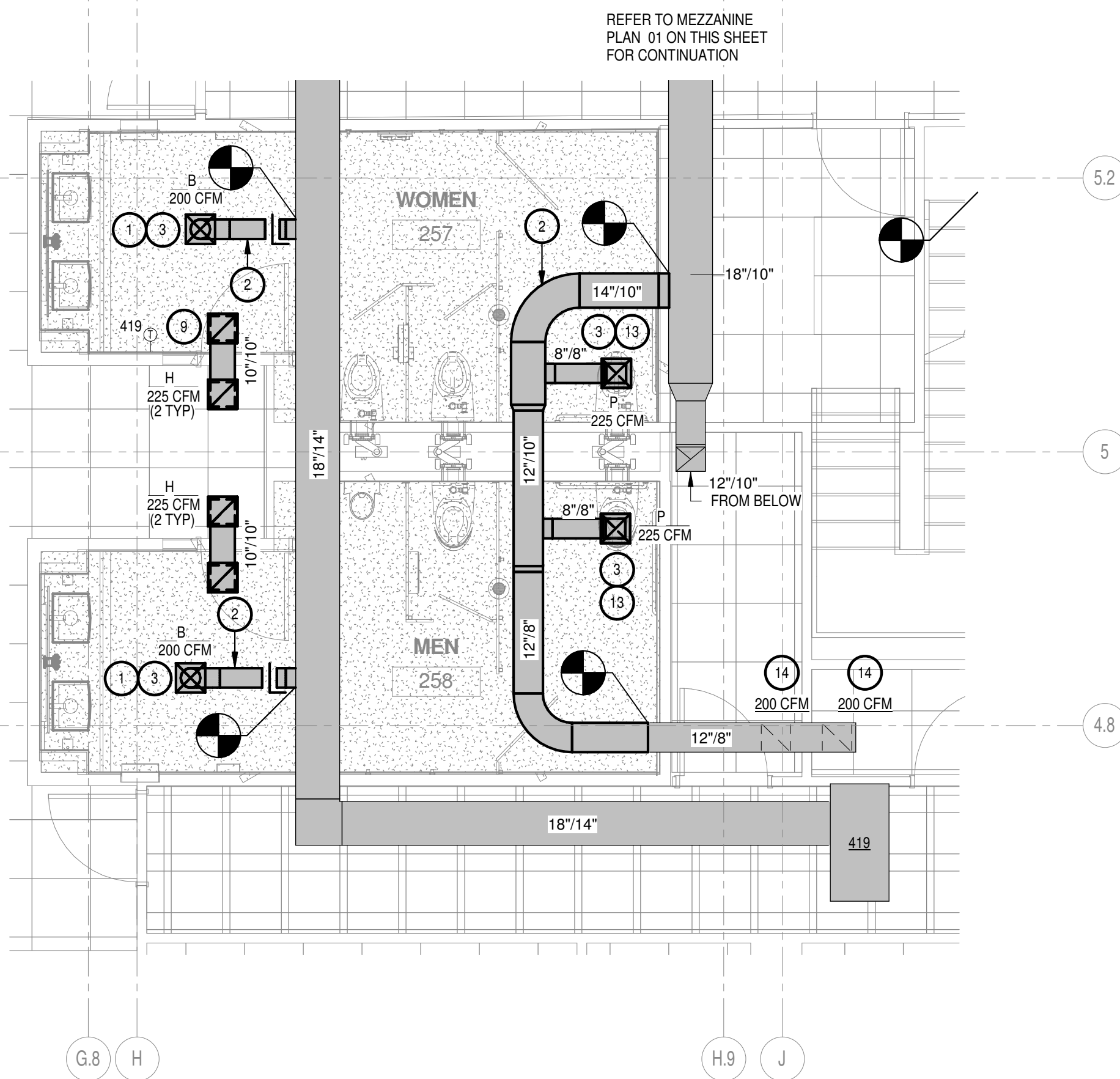


01 MECHANICAL HVAC PLAN - MEZZANINE  
1/8" = 1'-0"

02 MECHANICAL FIRST FLOOR HVAC  
RESTROOM PLAN - LOBBY  
1/4" = 1'-0"



03 MECHANICAL FIRST FLOOR HVAC  
RESTROOM PLAN  
1/4" = 1'-0"



04 MECHANICAL SECOND FLOOR HVAC  
RESTROOM PLAN  
1/4" = 1'-0"

## GENERAL NOTES:

A. REFER TO SHEET MH001 FOR GENERAL MECHANICAL NOTES.

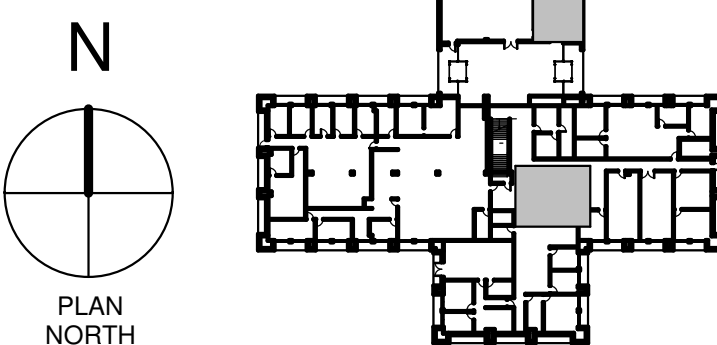
## KEY NOTES:

1. PROVIDE AND INSTALL CABLE OPERATED BALANCING DAMPER EQUAL TO ROTO-TWIST MODEL RT-150. EXTEND CABLE TO SUPPLY AIR DEVICE AND TERMINATE.
2. INSTALL NEW SUPPLY AIR DUCTWORK AS INDICATED AND AS REQUIRED. FIELD VERIFY REQUIREMENT OF CONNECTION.
3. NEW AIR DEVICE. RE-BALANCE AS SHOWN.
4. INSTALL NEW EXHAUST FAN AND CONNECT TO EXISTING EXHAUST DUCT. FIELD VERIFY REQUIREMENT OF CONNECTION.
5. RELOCATED AIR DEVICE.
6. PROVIDE NEW ACCESS PANEL FOR MECHANICAL EQUIPMENT. PANEL SHALL BE 3-FEET X 3-FEET IN SIZE TO MEET ACCESS REQUIREMENTS.
7. NEW FAN POWERED BOX.
8. RELOCATED TEMPERATURE SENSOR.
9. EXISTING TEMPERATURE SENSOR.
10. FURNISH AND INSTALL 4 INCH HIGH CONCRETE HOUSE KEEPING PAD FOR CONDENSING UNIT. CONCRETE PAD SHALL EXTEND 4 INCHES BEYOND EVERY UNIT EDGE.
11. DDC CONTRACTOR TO PROVIDE TEMPERATURE SENSOR TO ALARM AT HIGH TEMPERATURE FOR SPLIT SYSTEM.
12. NO REFRIGERANT LINES, SPRINKLER LINES, OR PLUMBING LINES SHALL RUN IMMEDIATELY ABOVE THE COMMUNICATION RACKS.
13. PROVIDE AND INSTALL OPPOSED BLADE BALANCING DAMPER EQUAL TO ROTO-TWIST MODEL RT-150. EXTEND CABLE TO SUPPLY AIR DEVICE AND TERMINATE.
14. EXISTING AIR DEVICE. RE-BALANCE AS SHOWN.
15. ALL NEW CONTROLS AND RELATED CONDUIT, WIREMOLD, WIRING, ETC. SHALL BE PROVIDED AND INSTALLED BY DDC CONTRACTOR AND SHALL BE COMPATIBLE WITH EXISTING ENERGY MANAGEMENT SYSTEM. RE-USE EXISTING CONTROLS CONDUIT AS APPLICABLE. WHERE EXISTING CONDUIT IS NOT SUFFICIENT, CONTRACTOR SHALL PROVIDE NEW 3/4\"/>

## LEGEND

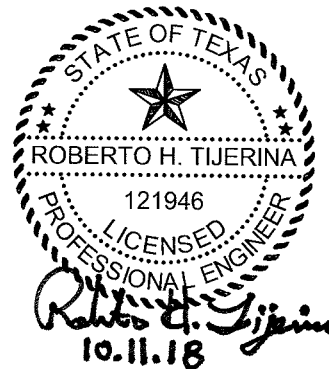
NEW MECHANICAL  
EXISTING MECHANICAL

## KEYPLAN



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## Brownsville PUB Admin Bldg

## Renovations

146 BROWNWOOD DR.,  
BROWNVILLE, TX  
BROWNVILLE PUBLIC UTILITIES BOARD

PROJECT NAME	
Description	
Date	10/29/2018
No.	1
PROJECT LOCATION	
PROJECT OWNER	
PROJECT NO.	31922
DRAWN BY:	MH
CHECKED BY:	RT
SHEET TITLE:	

MECHANICAL PLAN

MH101



PLUMBING GENERAL  
DEMOLITION NOTES:

- A. THE CONTRACTOR IS FULLY RESPONSIBLE FOR PERFORMING THE DEMOLITION WORK UNDER THIS SECTION OF THE PROJECT IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES. IF THE CONTRACTOR DETERMINES THAT THE CONTRACT DOCUMENTS AND PLANS ARE NOT IN COMPLIANCE WITH THE APPLICABLE CODES, HE SHALL INFORM THE ARCHITECT PRIOR TO CONSTRUCTION START FOR DIRECTION. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO MEET CODE REQUIREMENTS. REWORK SHALL BE AT CONTRACTORS EXPENSE. APPLICABLE CODES AND STANDARDS ON DEMOLITION WORK SHALL INCLUDE THOSE PUBLISHED BY OSHA AND EPA. AN ASBESTOS SURVEY SHALL BE KEPT ON SITE AT ALL TIMES PER TEXAS DEPARTMENT OF HEALTH REQUIREMENTS.
- B. ALL DUST PRODUCTION, SMOKE PRODUCTION AND NOISE SHALL BE SUBJECT TO REAL TIME REVIEW BY THE ARCHITECT. WORK SHALL BE SHUT DOWN DURING CRITICAL ACTIVITIES BY FORMAL REQUEST FROM THE DESIGNATED AUTHORITY OR CONTRACTING ARCHITECT. WORK IN DUSTY AREAS SHALL BE CONTROLLED WITH TEMPORARY PARTITIONS. FLAME CUTTING SHALL BE MINIMIZED TO ELIMINATE SMOKE PRODUCTION. PROVIDE FIRE EXTINGUISHERS IN THE IMMEDIATE AREA.
- C. GENERAL CONTRACTOR SHALL BE ADVISED OF ALL NEW PROPOSED ROOF OPENINGS.
- D. ON ANY WORK SHOWN ON MECHANICAL DRAWINGS WHICH REQUIRES DEMOLITION OF BUILDING STRUCTURES AND FINISHES, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE THE NECESSARY DEMOLITION. CONTRACTOR SHALL PATCH AND REPAIR ALL BUILDING DAMAGE CREATED BY DEMOLITION WORK. PATCHING SHALL BE COMPLETED WITH THE SAME MATERIALS AS THE SURROUNDING AREAS, OR WITH ARCHITECT APPROVED PATCHING MATERIALS.
- E. ALL OPENINGS CUT IN MASONRY AND PLASTER WALLS OR CONCRETE FLOORS SHALL BE CORE DRILLED OR SAWED WHEN POSSIBLE. CONTRACTOR SHALL CHECK BUILDING CONSTRUCTION WITH STRUCTURAL ENGINEER BEFORE MAKING PENETRATIONS TO AVOID CUTTING THROUGH STRUCTURAL BEAMS AND REINFORCING. CONTRACTOR SHALL INFORM THE ENGINEER IF REINFORCING IS CUT OR DAMAGED WHILE MAKING OPENINGS AS REQUIRED BY DRAWINGS AND SPECIFICATIONS. PATCH AND SEAL OPENINGS WITH 8000 PSI CEMENT GROUT. INSTALL DECORATIVE TRIM (EQUIPMENT FLANGES, FRAMING, OR ESOUTCHES) AROUND OPENINGS IN FINISHED AREAS. COORDINATE ALL CUTTING AND PATCHING WITH THE OTHER TRADES.
- F. ALL SURFACES COVERED BY "SPRAY POLY" AND PROTECTED BY TEMPORARY PARTITIONS SHALL REMAIN PROTECTED THROUGHOUT THE PROJECT. REMOVE THE PROTECTIVE BARRIERS ONLY AFTER THE NEW EQUIPMENT PIPING AND DUCTWORK IS INSTALLED. PATCH AND MAINTAIN THE PROTECTIVE BARRIERS DURING CONSTRUCTION. COVER ALL EQUIPMENT OPENINGS WITH 4 MIL POLY AND DUCT TAPE IN PLACE.
- G. CONTRACTOR SHALL REMOVE AND RETURN ANY AND ALL EXISTING EQUIPMENT MATERIALS TO OWNER. OWNER SHALL HAVE FULL RIGHT OF OWNERSHIP UNLESS SPECIFIED OTHERWISE.
- H. CONTRACTOR SHALL KEEP THE ENTIRE MEP DEMOLITION SITE CLEAN AT ALL TIMES.
- I. CONTRACTOR AND OWNER SHALL BE FULLY RESPONSIBLE TO IDENTIFY ANY AND ALL ASBESTOS PRESENT IN THE BUILDING PRIOR TO DEMOLITION AS REQUIRED BY LAW.
- J. COORDINATION AMONG OTHER CONSTRUCTION DISCIPLINES PRIOR TO DEMOLITION IS MANDATORY.
- K. CONTRACTOR SHALL IDENTIFY ALL UTILITY LINES PRIOR TO COMMENCING DEMOLITION WORK. SITE VISIT IS MANDATORY. PRIOR TO BEGINNING.
- L. THE OWNER SHALL RETAIN THE RIGHT OF FIRST REFUSAL ON ALL REMOVED EQUIPMENT. IF OWNER DOES NOT ELECT TO KEEP ANY REMOVED EQUIPMENT, IT SHALL BECOME THE PROPERTY AND RESPONSIBILITY OF THE CONTRACTOR.

LEGEND

- NEW PLUMBING
- - - EXISTING PLUMBING TO REMAIN
- - - EXISTING PLUMBING TO BE DEMOLISHED

DEMOLITION KEY NOTES:

1. SAW CUT FINISH FLOOR TO PROVIDE NEW ROUGH-IN FOR NEW PLUMBING FIXTURES. REFER TO PLUMBING PLAN FOR NEW PLUMBING FIXTURE REQUIREMENTS. PATCH AND REPAIR WALL, FLOOR, CEILING, BASE FINISHES AS PER ARCHITECTURAL REQUIREMENTS.
2. DEMOLISH EXISTING WATER CLOSET COMPLETE. DISCONNECT AND REMOVE WATER, VENT AND SANITARY SEWER LINES. NO VALVES OR LEAKING JOINTS SHALL REMAIN. REMOVE ALL CARRIER SYSTEMS. CAP OFF REMAINING PLUMBING LINES IN ATTIC OR UNDER FINISH FLOOR ELEVATION. PATCH AND REPAIR WALL, FLOOR, CEILING, BASE FINISHES AS REQUIRED TO MATCH EXISTING ADJACENT SURFACES.
3. DEMOLISH EXISTING URINAL COMPLETE. DISCONNECT AND REMOVE WATER, VENT AND SANITARY SEWER LINES. NO VALVES OR LEAKING JOINTS SHALL REMAIN. REMOVE ALL CARRIER SYSTEMS. CAP OFF REMAINING PLUMBING LINES IN ATTIC OR UNDER FINISH FLOOR ELEVATION. PATCH AND REPAIR WALL, FLOOR, CEILING, BASE FINISHES AS REQUIRED TO MATCH EXISTING ADJACENT SURFACES.
4. DEMOLISH EXISTING LAVATORY COMPLETE. DISCONNECT AND REMOVE WATER, VENT AND SANITARY SEWER LINES. NO VALVES OR LEAKING JOINTS SHALL REMAIN. REMOVE ALL CARRIER SYSTEMS. CAP OFF REMAINING PLUMBING LINES IN ATTIC OR UNDER FINISH FLOOR ELEVATION. PATCH AND REPAIR WALL, FLOOR, CEILING, BASE FINISHES AS REQUIRED TO MATCH EXISTING ADJACENT SURFACES.
5. DEMOLISH EXISTING FLOOR SINK COMPLETE. DISCONNECT AND REMOVE TRAP PRIMER, VENT AND SANITARY SEWER LINES. NO VALVES OR LEAKING JOINTS SHALL REMAIN.
6. DEMOLISH EXISTING HOSE BIB COMPLETE. DISCONNECT AND REMOVE WATER. NO VALVES OR LEAKING JOINTS SHALL REMAIN. REMOVE ALL FLANGES. CAP OFF REMAINING PLUMBING LINES IN ATTIC OR UNDER FINISH FLOOR ELEVATION. PATCH AND REPAIR WALL, FLOOR, CEILING, BASE FINISHES AS REQUIRED TO MATCH EXISTING ADJACENT SURFACES.
7. DEMOLISH EXISTING MOP SINK.

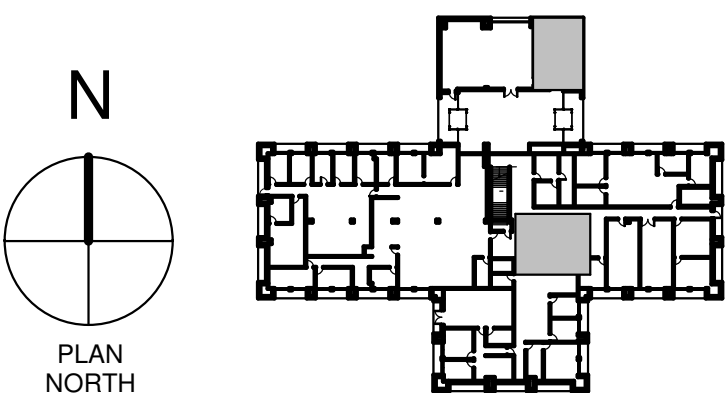
GENERAL NOTES: (1)

- A. REFER TO SHEET PL001 FOR GENERAL PLUMBING NOTES.

KEY NOTES: (2)

1. PROVIDE WATER HAMMER ARRESTOR WITH SHUT-OFF VALVE. PROVIDE 12" X 12" HINGED 16 GAUGE STEEL ACCESS PANEL WITH LOCKABLE KEYS. DOOR PRIME COATED WITH RUST INHIBITIVE ELECTROLYTIC POWDER, BAKED GREY ENAMEL AND SHALL BE PAINTED TO MATCH SURROUNDING AREAS. COORDINATE LOCATION TO AVOID CONFLICT WITH GRAB BARS.
2. CONNECT TO EXISTING SANITARY SEWER.
3. CONNECT TO EXISTING VENT THRU ROOF.
4. CONNECT TO EXISTING DOMESTIC COLD WATER LINE.
5. CONNECT TO EXISTING HOT WATER LINE.
6. CAP EXISTING WATER LINE. NO LEAKING JOINTS SHALL REMAIN.
7. FLOOR DRAIN SHALL BE PRIMED FROM TRAP PRIMER VALVE ABOVE CEILING. REFER TO DOMESTIC WATER PLAN FOR TRAP PRIMER LOCATION. REFER TO PLUMBING DETAILS FOR REQUIREMENTS.
8. PROVIDE AND INSTALL PRO-SET TRAP GUARDS SYSTEM ON HUB DRAINS.
9. PROVIDE AND INSTALL INSULATED COPPER CONDENSATE DRAIN LINE IN ATTIC SPACE. PROVIDE PIPE HANGER SUPPORTS MAXIMUM 5' O.C. SPACING. SLOPE PIPING 1/8" PER FOOT. ROUTE AND DRAIN INDIRECTLY TO HUB DRAIN ABOVE CEILING.
10. CONNECT EXISTING PLUMBING FIXTURE TO NEW SANITARY SEWER, VENT AND WATER PIPING.
11. EXISTING FIRE SPRINKLER TEST DRAIN PIPE. PROVIDE LOCKABLE ACCESS PANEL FOR VALVE. REFER TO ARCHITECTURAL SHEETS.

KEYPLAN



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PROJECT NAME	DESCRIPTION	DATE	ADD #1	PROJECT LOCATION	PROJECT OWNER
PL101	PLUMBING PLANS	10/29/2019	1	1405 BROWNWOOD DR., BROWNVILLE, TX	BROWNVILLE PUBLIC UTILITIES BOARD

PROJECT NO.: 31922  
DRAWN BY: MH  
CHECKED BY: RT  
SHEET TITLE: PLUMBING PLANS