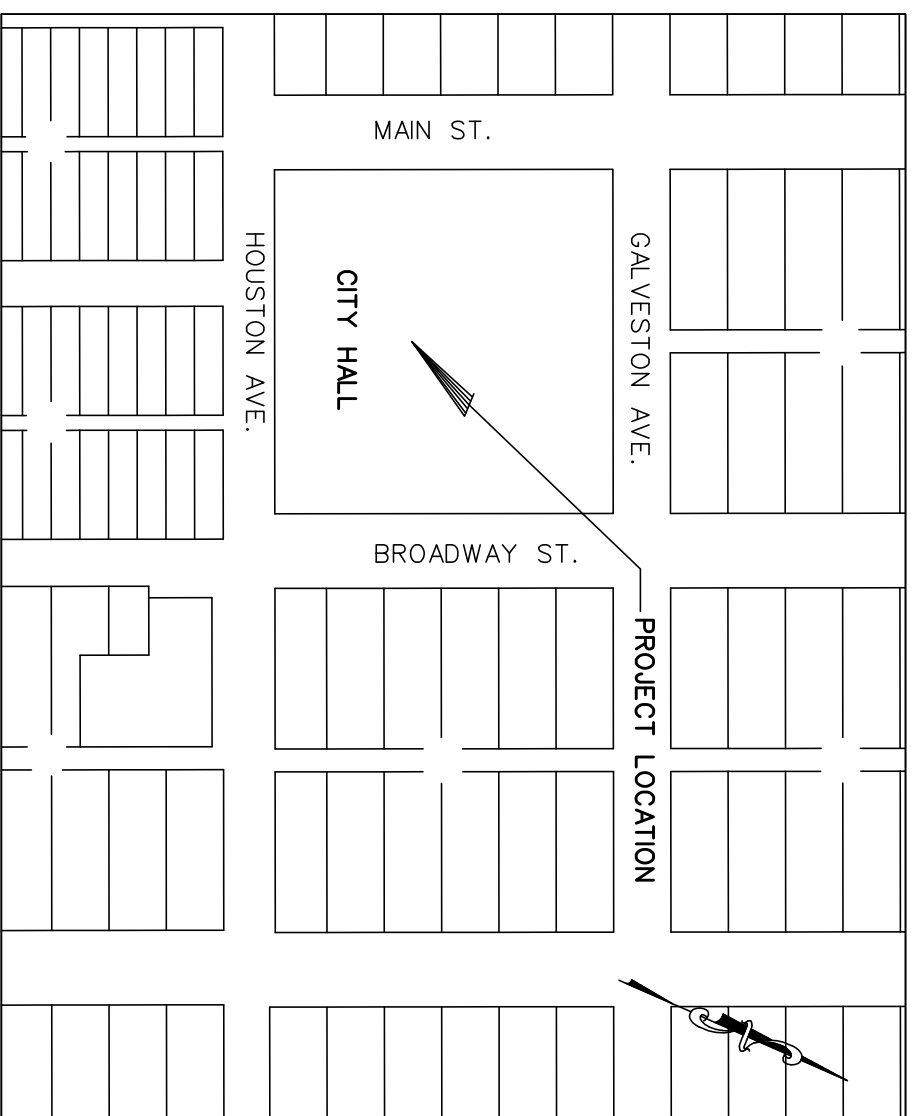


# MCALLEN CITY HALL LACTATION ROOM



**CITY OFFICIALS:**

JAMES DARLING	MAYOR
AIDA RAMIREZ	MAYOR PRO-TEM, COMMISSIONER DIST 4
JAYTER VILLALOBOS	COMMISSIONER DISTRICT 1
JOAQUIN J ZAMORA	COMMISSIONER DISTRICT 2
J. OMAR QUINTANILLA	COMMISSIONER DISTRICT 3
JOHN INGRAM	COMMISSIONER DISTRICT 5
VERONICA WHITACRE	COMMISSIONER DISTRICT 6
ROEL RODRIGUEZ P.E.	CITY MANAGER



VICINITY MAP  
(NTS)

**SHEET INDEX:**

TI	COVER SHEET
A-1	GENERAL NOTES
A-2	BREAK ROOM EXISTING 3RD FLOOR PLAN
A-3	LACTATION ROOM FLOOR PLAN
A-4	CABINET ELEVATIONS
A-5	BREAKROOM CABINET SECTIONS
A-6	LACTATION ROOM CABINET SECTION

FILE NAME:
DATE:
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TITLE:	CITY HALL GENERAL NOTES  CITY OF MCALLEN
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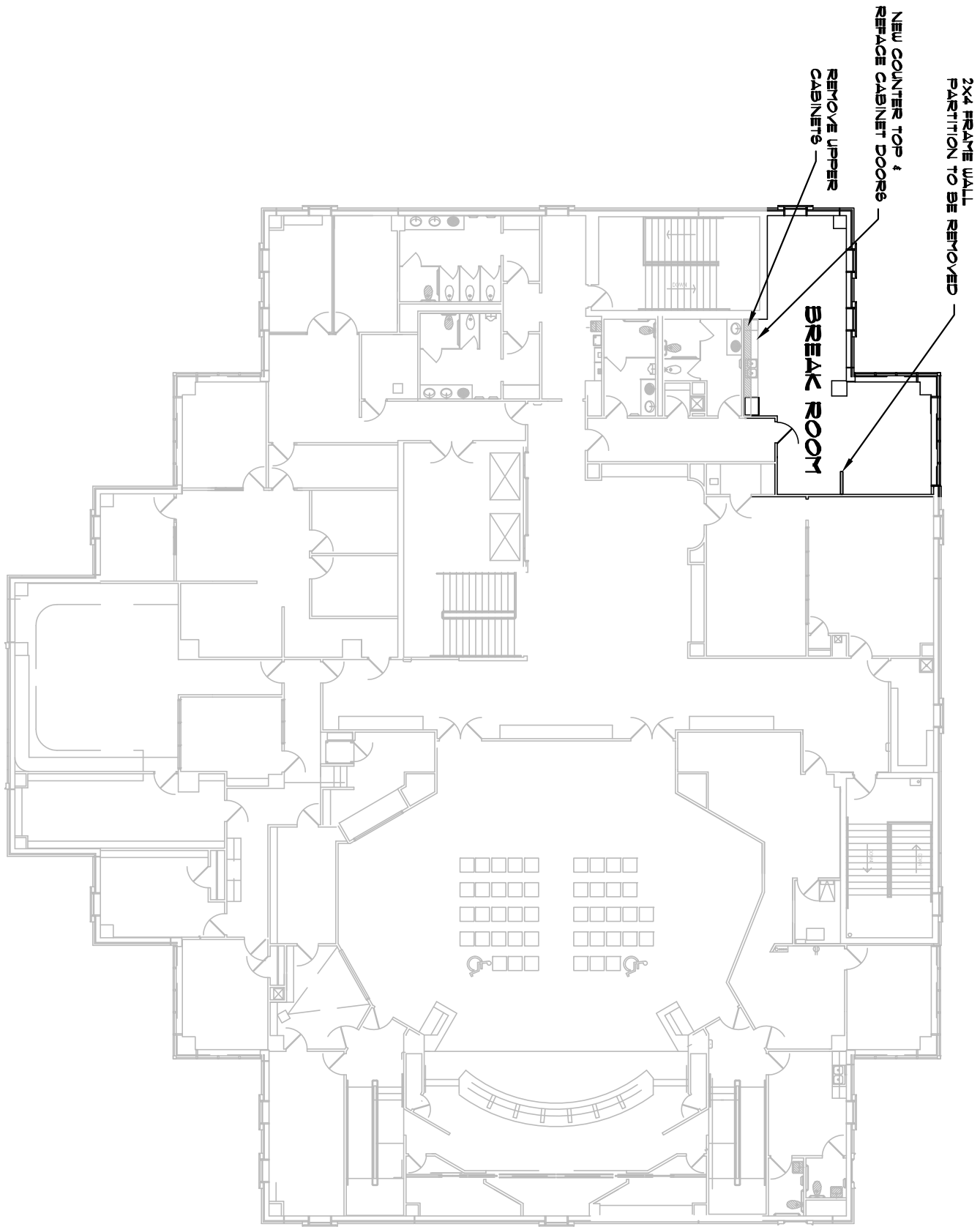


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DATE:
SHEET NO:
A1 of 6

NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AT JOB SITE.
2. CONTRACTOR MUST COMPLY WITH TEXAS DEPARTMENT OF LICENSING AND REGULATION.
3. ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO THE REQUIREMENTS OF THESE SPECIFICATIONS.
4. IN CASES WHERE THE STANDARD SPECIFICATIONS ARE IN CONFLICT WITH EITHER PLANS AND SPECIFICATIONS OR THE SPECIAL PROVISIONS, THE ORDER OF SUPERSEDEENCE SHALL BE SPECIAL PROVISIONS AND PLANS AND SPECIFICATIONS.
5. ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION AND OTHER SERVICES REQUIRED FOR THIS CONSTRUCTION WILL BE FURNISHED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AS PREPARED BY THE CITY OF McALLEN.
6. CITY OF McALLEN HAS DELINEATED WORK AREAS AND ACCESS ROUTES. ANY DAMAGED PROPERTY NOT OTHERWISE MENTIONED WITHIN PLANS OR SPECIFICATIONS TO BE INSTALLED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (PRODUCT AND INSTALLATION) AS APPROVED BY CITY OF McALLEN.
7. A CONTRACTOR'S SUPERINTENDENT SHALL BE ON THE JOB AT ALL TIMES THAT CONSTRUCTION WORKERS ARE PRESENT AT THE CONSTRUCTION SITE.
8. CONTRACTOR TO PROVIDE FOR HIS OWN UTILITY REQUIREMENTS.
9. A BUILDING PERMIT WILL BE REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMIT AND ANY RELATED FEES.
10. OWNER'S REPRESENTATIVES SHALL AT ALL TIMES HAVE ACCESS TO THE WORK WHENEVER IT IS IN PREPARATION PROGRESS, AND THE CONTRACTOR SHALL PROVIDE PROPER FACILITIES FOR SUCH ACCESS, AND FOR INSPECTION.
11. RE-EXAMINATION OF THE WORK MAY BE ORDERED BY THE ARCHITECT/ENGINEER AND, IF SO ORDERED, THE WORK MUST BE UNCOVERED BY THE CONTRACTOR. IF SUCH WORK IS FOUND TO BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE OWNER SHALL PAY THE COST OF RE-EXAMINATION AND REPLACEMENT. IF SUCH WORK IS NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PAY SUCH COST.
12. ALL WORKMANSHIP, EQUIPMENT AND MATERIALS, FURNISHED OR INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF AT LEAST ONE (1) YEAR AGAINST FACILITY WORKMANSHIP OR DEFECTIVE MATERIALS. THE WARRANTY PERIOD SHALL BEGIN ON THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE OF THE PROJECT BY THE OWNER.
13. AT THE END OF EACH DAY'S WORK SESSION CONTRACTOR SHALL CLEAN THE PREMISES, REMOVE ALL CONSTRUCTION DEBRIS AND LEAVE THE PUBLIC WORKS SITE IN A CONDITION THAT DAILY WORK ACTIVITIES CAN PROCEED. REMOVE ALL TRASH, SURPLUS AND DISCARDED MATERIALS, TEMPORARY SERVICES, MATERIALS AND DEBRIS OF EVERY KIND. THE CONTRACTOR SHALL LEAVE THE SITE OF THE WORK IN A NEAT AND ORDERLY CONDITION EQUAL TO THAT WHICH ORIGINALLY EXISTED. WASTE MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF AND SECURED AT LOCATIONS SATISFACTORY TO THE PROJECT ARCHITECT AND SHALL BE CONSIDERED INCIDENTAL TO THE BID.
14. THE CONTRACTOR SHALL PROMPTLY REMOVE FROM THE PREMISES ALL MATERIALS AND WORK CONDEMNED BY THE OWNER/DESIGNER AS FAILING TO MEET CONTRACT REQUIREMENTS, WHETHER INCORPORATED IN THE WORK OF OTHER CONTRACTORS DESTROYED OR DAMAGED BY SUCH REMOVAL OR REPLACEMENT.
15. IF THE CONTRACTOR DOES NOT TAKE ACTION TO REMOVE SUCH CONDEMNED MATERIALS AND WORK WITHIN 10 DAYS AFTER WRITTEN NOTICE, THE OWNER MAY REMOVE THEM AND MAY STORE THE MATERIAL AT THE EXPENSE OF THE CONTRACTOR. IF THE CONTRACTOR DOES NOT PAY THE EXPENSE OF SUCH REMOVAL AND STORAGE WITHIN TEN DAYS' TIME THEREAFTER, THE OWNER MAY, UPON TEN DAYS' WRITTEN NOTICE, SELL SUCH MATERIALS AT AUCTION OR AT PRIVATE SALE AND SHALL PAY THE CONTRACTOR ANY NET PROCEEDS THEREOF, AFTER DEDUCTING ALL THE COSTS AND EXPENSES THAT SHOULD HAVE BEEN BORNE BY THE CONTRACTOR.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE FIRE SPRINKLER SYSTEM REMAIN IN COMPLIANCE. ADJUST ALL SPRINKLER LINES AS NEED TO REMAIN IN COMPLIANCE.

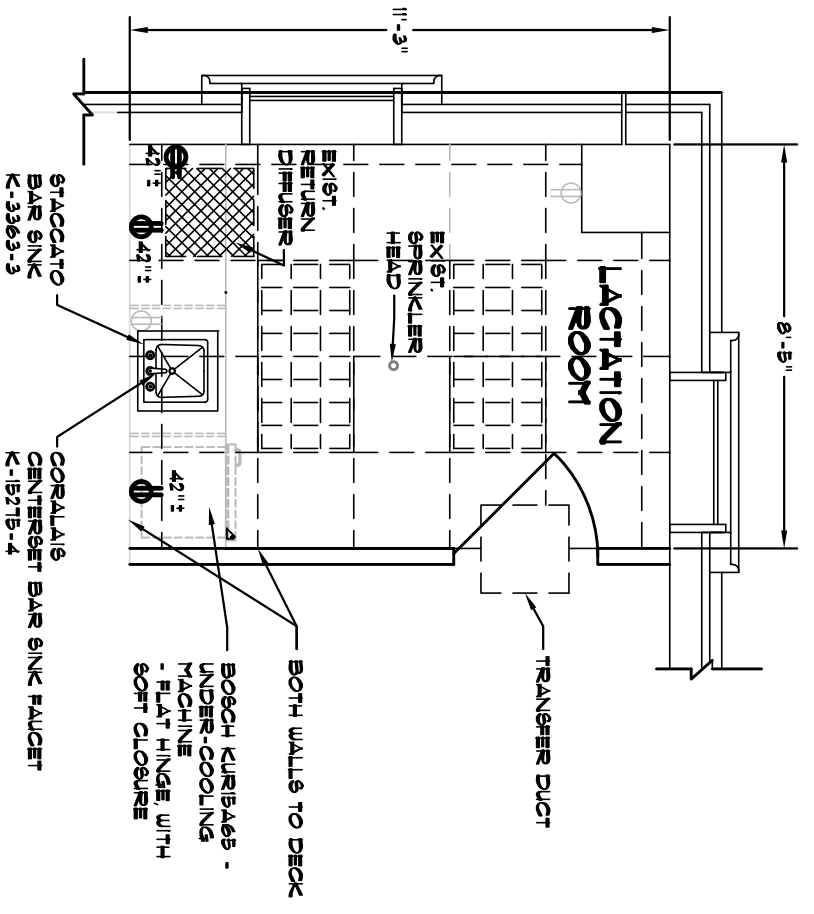


**1** BREAK ROOM EXISTING 3RD FLOOR PLAN  
 SCALE: 1" = 20'

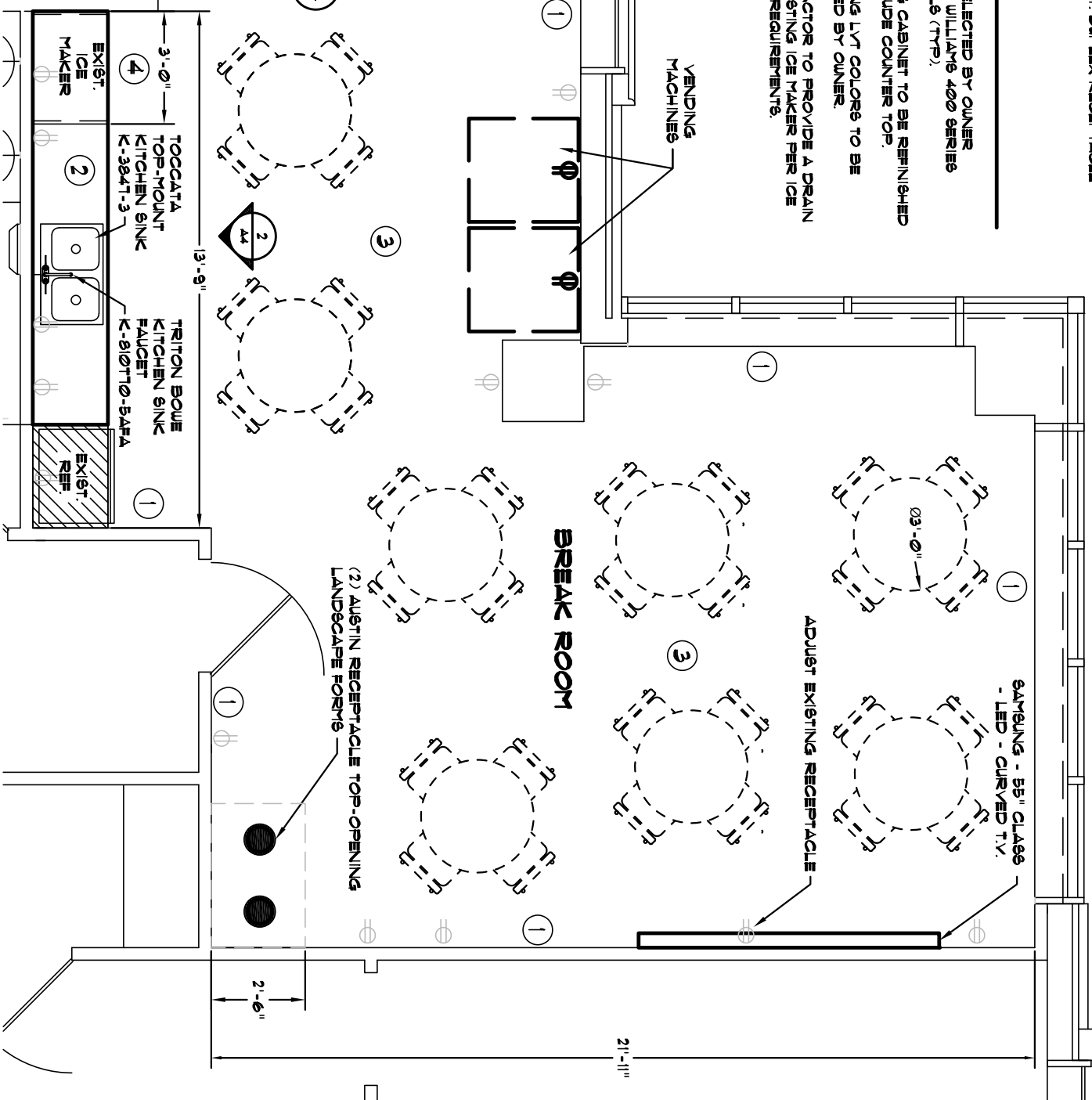
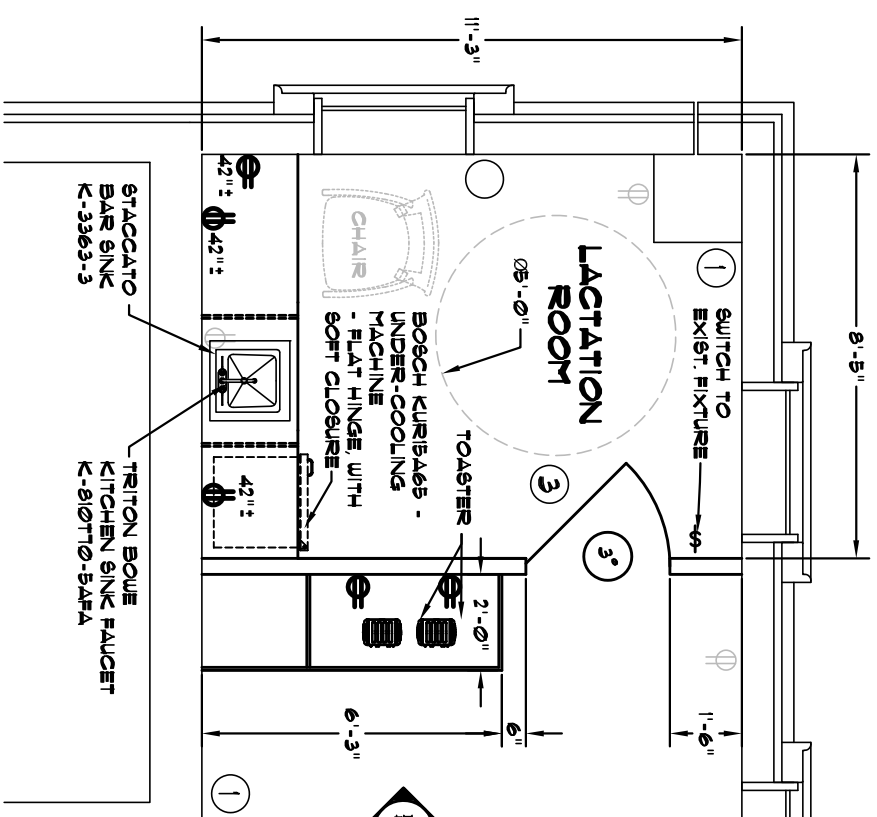


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DATE:	BREAK ROOM EXISTING 3RD FLOOR PLAN
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SHEET NO.:	A2 of 6



**1** REFLECTIVE CEILING GRID  
 SCALE 1/4" = 1'



**2** LACTATION ROOM FLOOR PLAN  
 SCALE 1/4" = 1'

- LEGEND**
- \$ SWITCH
  - ⊕ PROP. DUPLEX RECEPTACLE
  - ⊕ EXST. DUPLEX RECEPTACLE

- NOTE:**
1. PAINT SELECTED BY OWNER  
SHERWIN WILLIAMS 400 SERIES  
ALL WALLS (TYP.)
  2. EXISTING CABINET TO BE REFINISHED  
TO INCLUDE COUNTER TOP.
  3. FLOORING LVT COLORED TO BE  
SELECTED BY OWNER.
  4. CONTRACTOR TO PROVIDE A DRAIN  
FOR EXISTING ICE MAKER PER ICE  
MAKER REQUIREMENTS.

\* FIELD VERIFY ALL DIMENSIONS

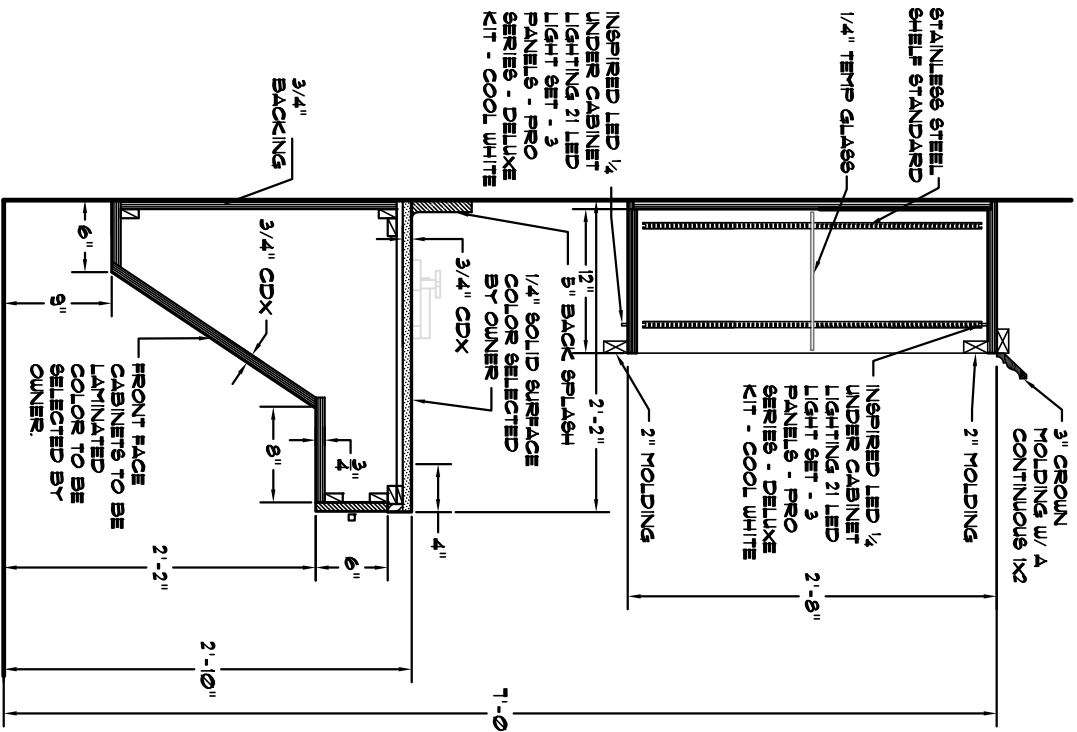


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 LACTATION ROOM FLOOR PLAN  
 CITY OF McALLEN

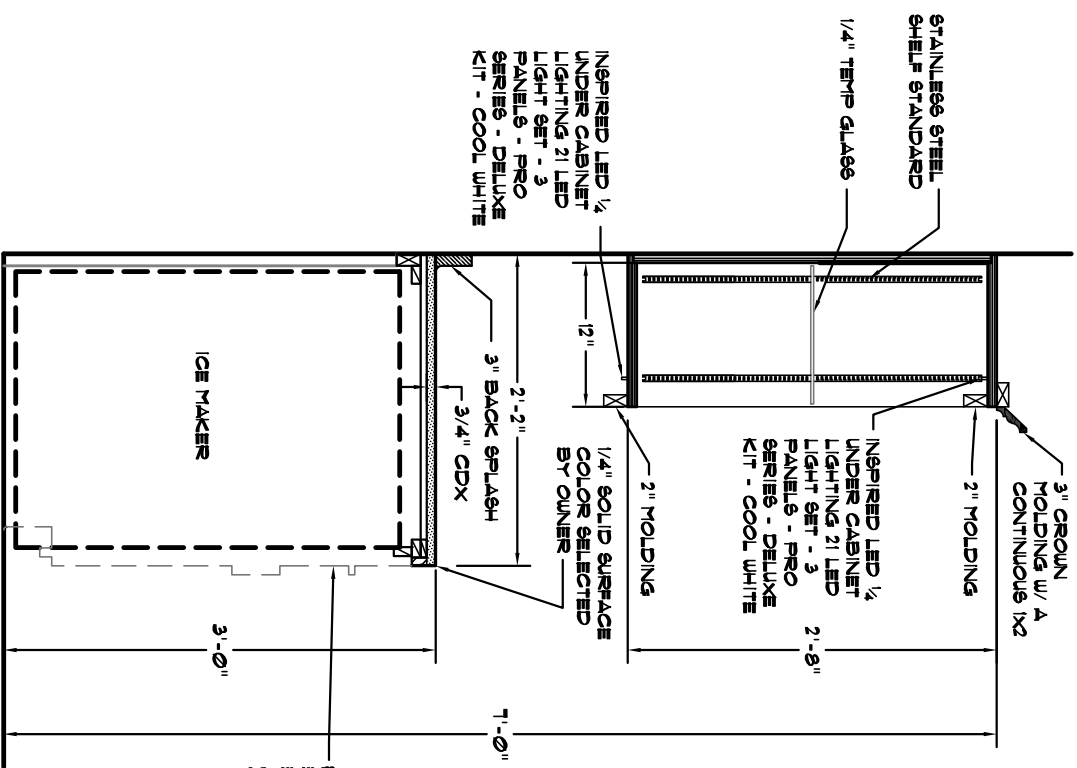
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DATE:	
SHEET NO.:	A3 of 6

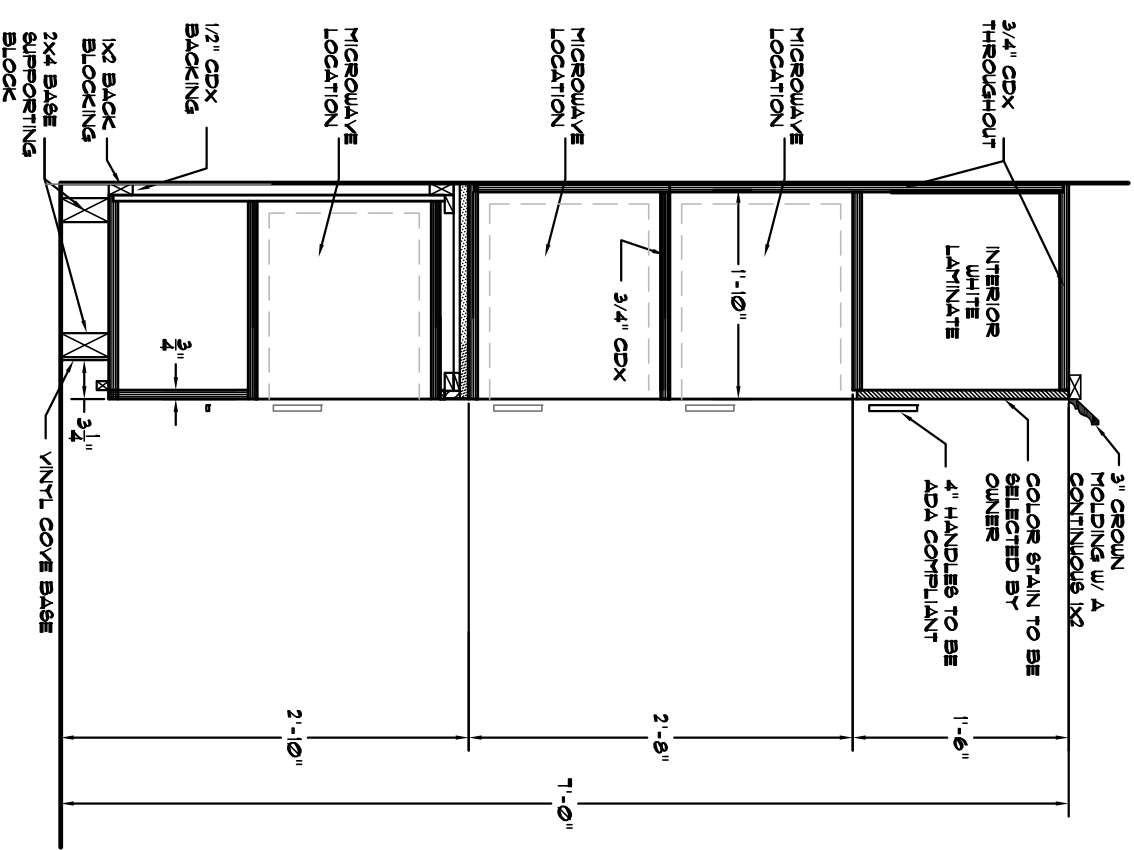




**A** BREAKROOM SINK SECTION  
 SCALE: 1/2" = 1'



**B** BREAKROOM TYP. SECTION  
 SCALE: 1/2" = 1'



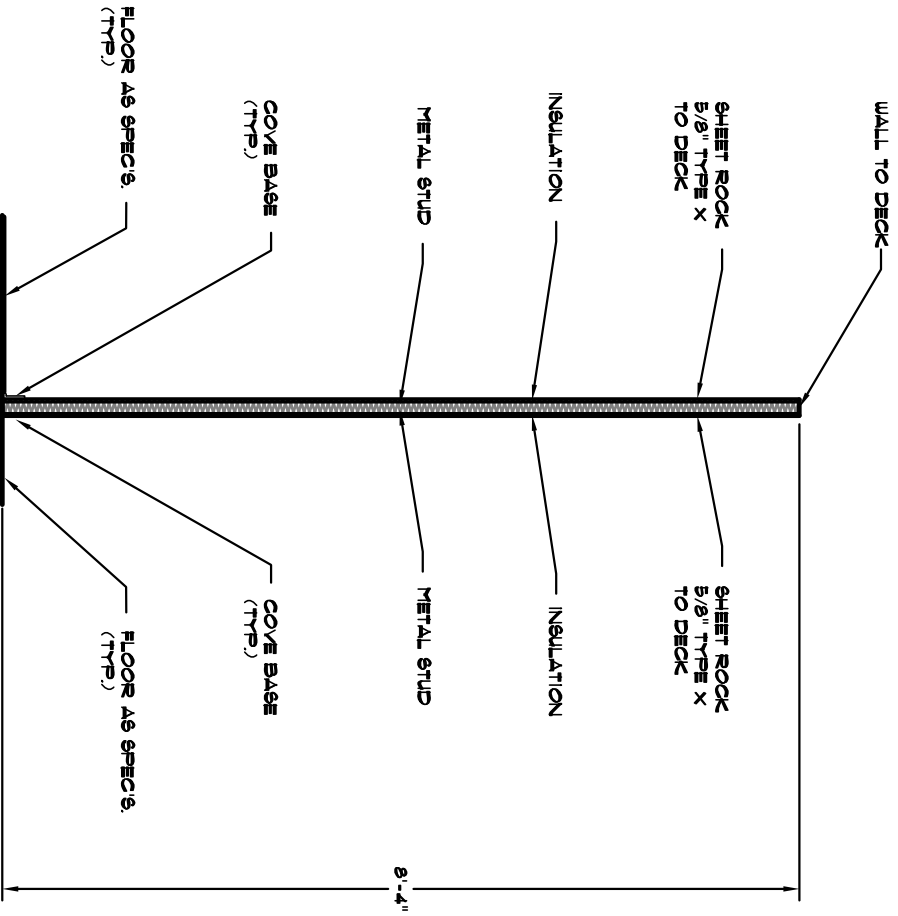
**C** BREAKROOM MICRO SECTION  
 SCALE: 1/2" = 1'



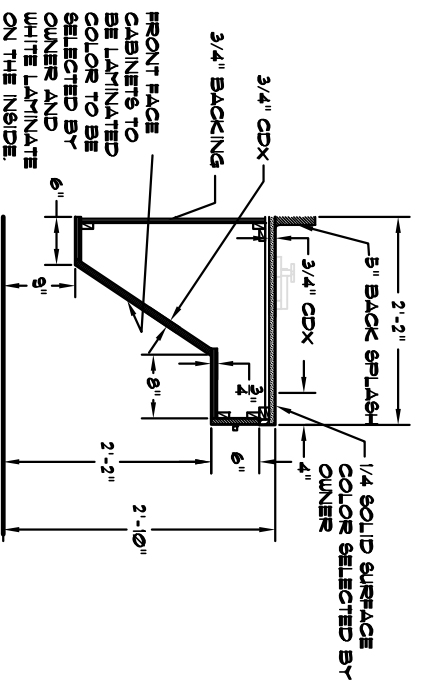
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 BREAKROOM CABINET SECTIONS  
 CITY OF McALLEN

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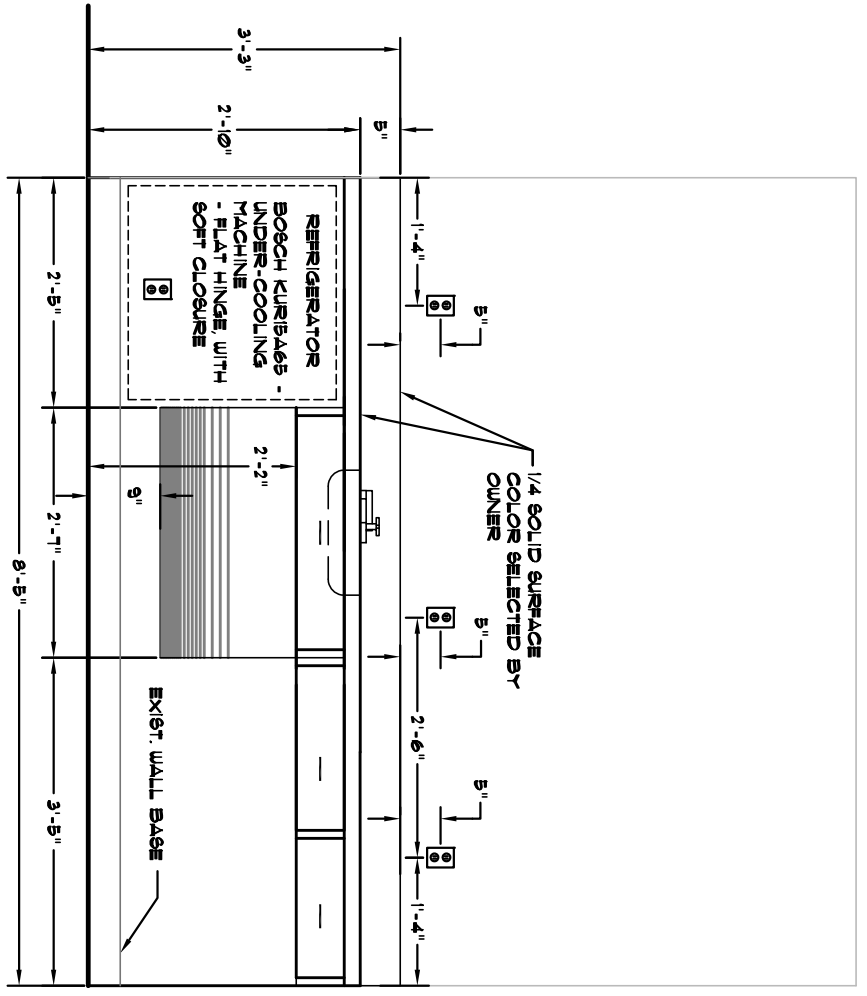
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SHEET NO.:	A5 of 6



**A** LACTATION ROOM WALL SECTION  
 SCALE: 1/2" = 1'



**B** LACTATION ROOM SINK SECTION  
 SCALE: 1/2" = 1'



**C** LACTATION ROOM CABINET ELEVATION  
 SCALE: 1/2" = 1'



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 LACTATION ROOM CABINET SECTIONS  
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DATE:	
SHEET NO.:	A6 of 6