



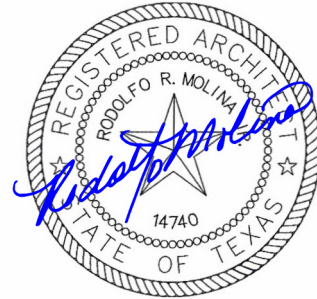
**ADDENDUM NUMBER: #1**

**Date: August 31, 2018**

Project Name: Tropical Texas Behavioral Health  
HOP Villa Renovations

Milnet Project No.: 217027

Date: April 31, 2018  
Bid Date: September 12, 2018  
Architect: Milnet Architectural Services  
608 S. 12<sup>th</sup> St.  
McAllen, TX 78501



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**NOTICE TO ALL BIDDERS**

This Addendum forms a part of the Contract Document and modifies the original Drawings issued for sealed proposals, to the extent noted herein.

Careful note of this Addendum shall be taken by all parties of interest so that proper allowance is made in all computations, estimates and contracts and so that all trades affected are fully advised in the performance of work that will be required by them. Acknowledge receipt of this addendum by inserting its number and date of issue in the place provided for same in the proposal.

Items revised on the Drawings are designated by a cloud line and triangle surrounding the corresponding revision number.

This Addendum supersedes all previous Drawings, Specifications and instructions pertaining to these items. It is imperative that this addendum be inserted INTO set of specifications.

- 
- 1.01 GC Question: “What is the estimated construction cost?”  
**Response: \$ 2.1 million.**
  - 1.02 GC Question: “Can you please clarify the ceiling demolition vs the new ceilings.?”  
**Response: Refer to attached D1.3**
  - 1.03 GC Question: “Can you please clarify wall types on the walls on A1.0, A1.1 and A1.2 We are given the details - but they are not marked on the page as to which is which. It just states new wall typical?”  
**Response: Refer to attached A1.0, A1.1, A1.2**
  - 1.04 GC Question: “Can you please provide the window dimensions for this project? The A B & C window sizes are not on the plans, also the C window is not marked on the floor plan?”  
**Response: Refer to attached A7.3 for dimensions and A1.2 for window type C location.**
  - 1.05 GC Question: “Spec 12 36 40 stone countertop shows all fabricators out of Texas (cost can be high). Website shows several types of surfaces ex. Corian quartz.... What type do you want us to provide? Several fabricators in the Valley. For substitution you require 10 days as outlined in specs?”



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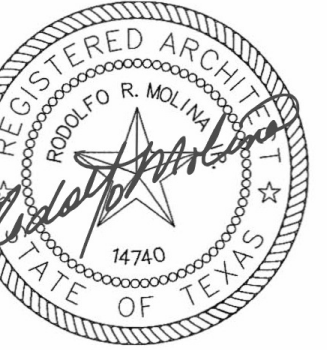
**Response: Section 12 36 40 to be replaced with enclosed revised section 12 36 40,  
type of surface to be granite.**

**END OF ADDENDUM**



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### DEMO KEYNOTE LEGEND

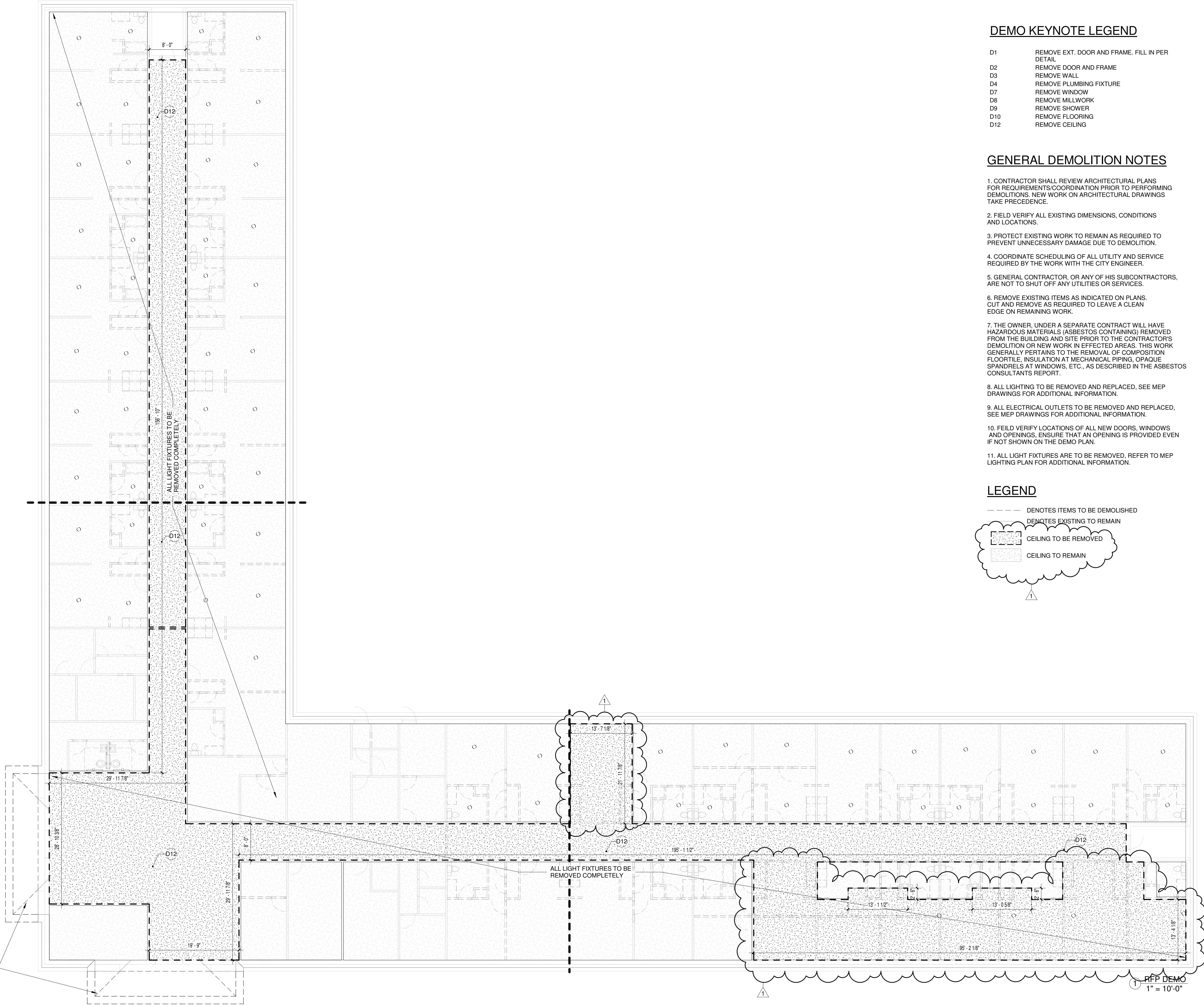
D1	REMOVE EXT. DOOR AND FRAME. FILL IN PER DETAIL
D2	REMOVE DOOR AND FRAME
D3	REMOVE WALL
D4	REMOVE PLUMBING FIXTURE
D7	REMOVE WINDOW
D8	REMOVE MILLWORK
D9	REMOVE SHOWER
D10	REMOVE FLOORING
D12	REMOVE CEILING

### GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL REVIEW ARCHITECTURAL PLANS FOR REQUIREMENTS/COORDINATION PRIOR TO PERFORMING DEMOLITIONS. NEW WORK ON ARCHITECTURAL DRAWINGS TAKE PRECEDENCE.
- FIELD VERIFY ALL EXISTING DIMENSIONS, CONDITIONS AND LOCATIONS.
- PROTECT EXISTING WORK TO REMAIN AS REQUIRED TO PREVENT UNNECESSARY DAMAGE DUE TO DEMOLITION.
- COORDINATE SCHEDULING OF ALL UTILITY AND SERVICE REQUIRED BY THE WORK WITH THE CITY ENGINEER.
- GENERAL CONTRACTOR, OR ANY OF HIS SUBCONTRACTORS, ARE NOT TO SHUT OFF ANY UTILITIES OR SERVICES.
- REMOVE EXISTING ITEMS AS INDICATED ON PLANS. CUT AND REMOVE AS REQUIRED TO LEAVE A CLEAN EDGE ON REMAINING WORK.
- THE OWNER, UNDER A SEPARATE CONTRACT WILL HAVE HAZARDOUS MATERIALS (ASBESTOS CONTAINING) REMOVED FROM THE BUILDING AND SITE PRIOR TO THE CONTRACTOR'S DEMOLITION OR NEW WORK IN EFFECTED AREAS. THIS WORK GENERALLY PERTAINS TO THE REMOVAL OF COMPOSITION FLOOR TILE, INSULATION AT MECHANICAL PIPING, OPAQUE SPANDRELS AT WINDOWS, ETC., AS DESCRIBED IN THE ASBESTOS CONSULTANTS REPORT.
- ALL LIGHTING TO BE REMOVED AND REPLACED. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL ELECTRICAL OUTLETS TO BE REMOVED AND REPLACED. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- FIELD VERIFY LOCATIONS OF ALL NEW DOORS, WINDOWS AND OPENINGS. ENSURE THAT AN OPENING IS PROVIDED EVEN IF NOT SHOWN ON THE DEMO PLAN.
- ALL LIGHT FIXTURES ARE TO BE REMOVED. REFER TO MEP LIGHTING PLAN FOR ADDITIONAL INFORMATION.

### LEGEND

--- DENOTES ITEMS TO BE DEMOLISHED  
 --- DENOTES EXISTING TO REMAIN  
 [Pattern] CEILING TO BE REMOVED  
 [Pattern] CEILING TO REMAIN



PORION OF EXISTING ROOF AND STRUCTURE TO BE REMOVED. SEE ROOF PLAN FOR ADDITIONAL INFORMATION

RFP DEMO  
1" = 10'-0"

HOP VILLA RENOVATIONS  
TROPICAL TEXAS BEHAVIORAL HEALTH  
HARLINGEN, TX

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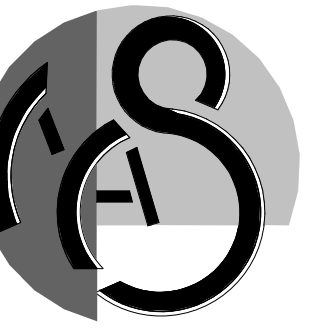
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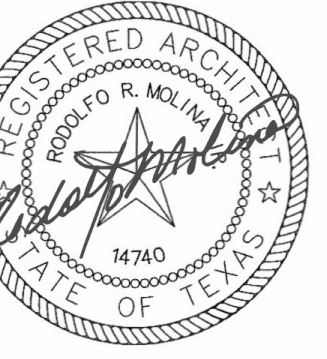
D1.3





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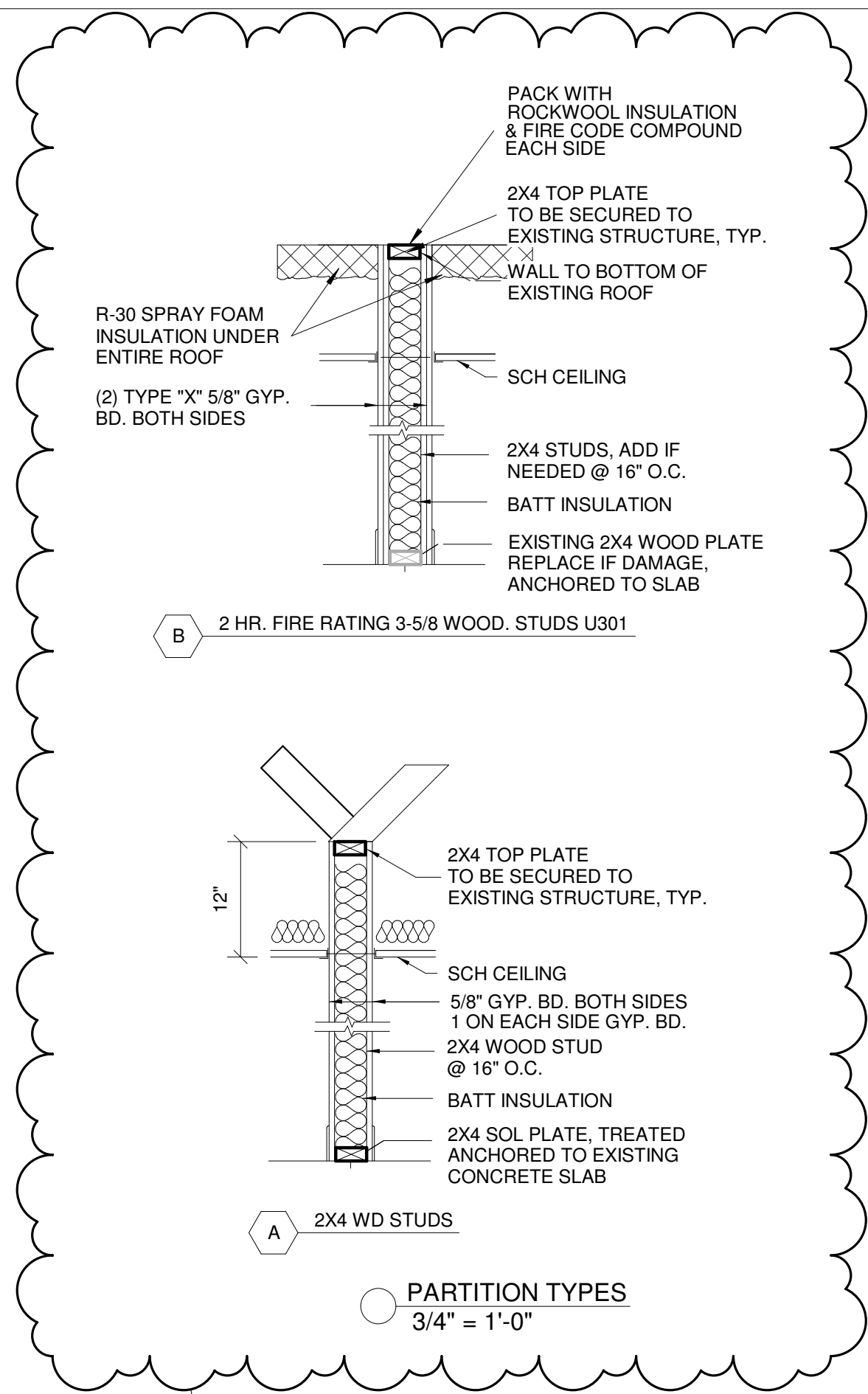
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A1.0

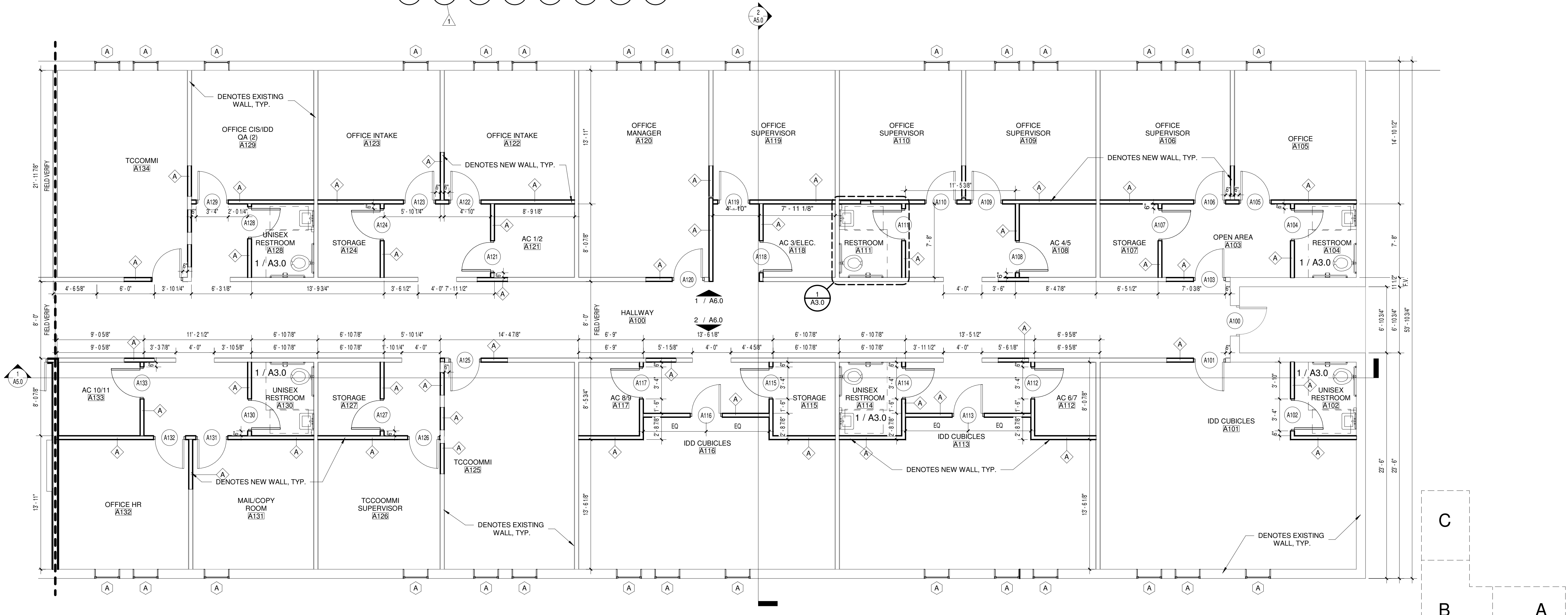
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2. ALL DIM. TO FINISH FACE OF WALL. DIM ON GRAY WALLS TO BE FIELD VERIFIED.
3. BUILDING MUST HAVE A PANEL BOX (LOCATION AS PER CITY CODES)
4. ALL SMOKE DETECTORS ARE TO BE PLACED AS PER CITY CODES.
5. ALL LIGHT FIXTURES TO BE REVIEWED BY OWNER. RE: ELEC.
6. RE: A7.0 FOR DOOR AND WINDOW SCHEDULES.
7. RE: 2/A1.0 FOR PARTITION TYPES.
8. ALL PARTITION TYPE "A" U.N.O.
9. PROVIDE ROOM SIGNAGE, RE: 3/A8.0 FOR SIGNAGE SPECIFICATIONS.
10. THE CONTRACTOR SHALL CAREFULLY REVIEW THE DRAWINGS, SPECIFICATIONS, DIMENSIONS AND SITE CONDITIONS PRIOR TO BEGINNING ANY WORK AND REPORT ANY INCONSISTENCIES OR DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION DURING THE Q&A PERIOD OF THE BID PHASE, AND AT THE LATEST BEFORE BEGINNING CONSTRUCTION.
11. THE DRAWINGS AND SPECIFICATIONS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. BASE DISAGREEMENTS IN THEMSELVES OR IN EACH OTHER ON THE MOST EXPENSIVE COMBINATION OF QUANTITY AND QUALITY OF WORK INDICATED.
12. ITEMS SPECIFICALLY MENTIONED IN THE SPECIFICATIONS BUT NOT SHOWN ON THE DRAWINGS OR ITEMS SHOWN ON THE DRAWINGS BUT NOT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS SHALL BE PROVIDED AS IF THEY WERE BOTH SPECIFIED AND SHOWN IN THE DRAWINGS.
13. ALL MINOR DETAILS OF WORK WHICH ARE NOT SPECIFICALLY SHOWN ON THE DRAWINGS, AS WELL AS SUCH ITEMS WHICH ARE NOT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS, BUT ARE NECESSARY FOR THE PROPER COMPLETION OF THE WORK, SHALL BE CONSIDERED AS INCIDENTAL AND AS BEING PART OF AND INCLUDED WITH THE WORK FOR WHICH PRICES ARE GIVEN IN THE PROPOSAL AND NO EXTRA COMPENSATION SHALL BE ALLOWED FOR THE PERFORMANCE THEREOF.
14. ALL FLOOR PLAN DIMENSIONS ARE TO FINISH FACE OF WALL. DO NOT SCALE DRAWINGS. WHERE DIMENSIONS ARE NOTED "AS CLEAR" DIMENSION SHALL BE FROM FINISH TO FINISH.
15. CASEWORK, PLUMBING FIXTURES, TOILET PARTITIONS, AND OTHER FIXTURES AND EQUIPMENT ARE DIMENSIONED FROM FINISHED SURFACES UNLESS NOTED OTHERWISE.
16. ALL SPACES WITH FLOOR DRAINS - SLOPE NOT TO EXCEED 2% (ONE - IN - FIFTY) IN ANY DIRECTION. COORDINATE ALL FLOOR DRAINS WITH PLUMBING DRAWINGS PRIOR TO ANY ROUGH-IN AND CONCRETE PLACEMENT.
17. DIMENSIONS NOTED AS "FIELD VERIFY" SHALL BE CHECKED AT THE SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
18. DIMENSIONS NOTED AS "CLEAR" REQUIRE SPECIFIC COORDINATION BETWEEN DISCIPLINES AND/OR MANUFACTURERS.
19. PROVIDE CORNERGUARDS AT ALL INTERIOR GYP. BOARD WALL CORNERS AS SPECIFIED.
20. ALL FLOOR FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE. ALL FLOOR FINISH ELEVATION CHANGES SHALL HAVE THRESHOLDS OR REDUCERS STRIPS AS SPECIFIED.
21. OPEN EXTERIOR JOINTS AROUND DOOR AND WINDOW FRAMES, BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS, AT WALL AND ROOF PENETRATIONS AND ANY OTHER BUILDING ENVELOPE PENETRATION SHALL BE SEALED, CAULKED AND/OR WEATHER-STRIPPED TO PREVENT OR LIMIT AIR, MOISTURE AND VAPOR PENETRATION. USE ONLY SPECIFIED MANUFACTURER APPROVED MATERIALS AS DIRECTED BY MATERIAL MANUFACTURERS.
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24. COORDINATE AND PROVIDE APPROPRIATE BLOCKING IN WALLS AS REQUIRED TO SECURE ALL EQUIPMENT, HANDRAILS, CASEWORK, ETC. AS REQUIRED. WOOD BLOCKING SHALL MEET CODE REQUIREMENTS.
25. SINGLE USER TOILET ROOMS MAY BE CONFIGURED IN ACCORDANCE WITH TECHNICAL MEMORANDUM TM 03-02 ISSUED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS, ARCHITECTURAL BARRIERS DIVISION ALLOWING THE DOOR SWING TO ENCRUSCH INTO THE 5 FOOT DIAMETER TURNING CIRCLE SPACE SO LONG AS A CLEAR FLOOR SPACE OF 30" X 48" IS PROVIDED.
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BUILDING GROSS AREA	
EXISTING BUILDING:	22,000 SQ. FT.
TOTAL (BASE BID):	22,000 SQ. FT.



PARTITION TYPES  
3/4" = 1'-0"



1 FLOOR PLAN SECTION A  
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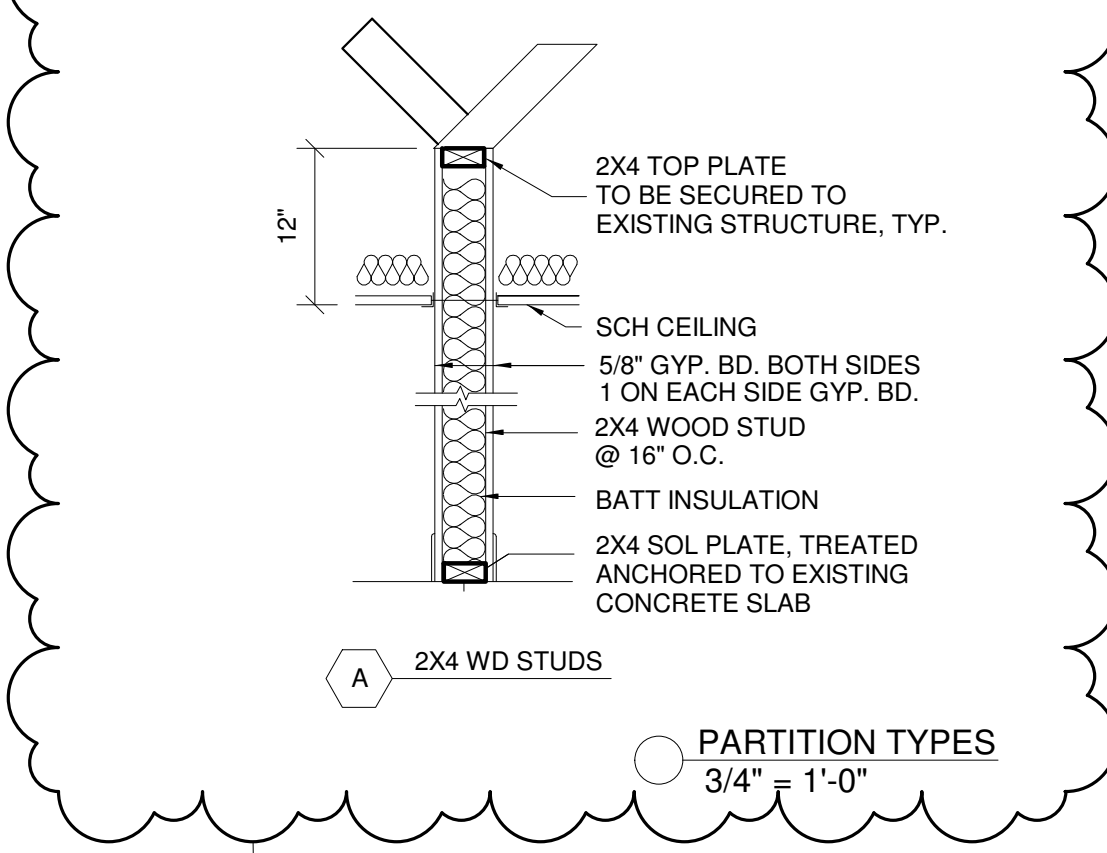
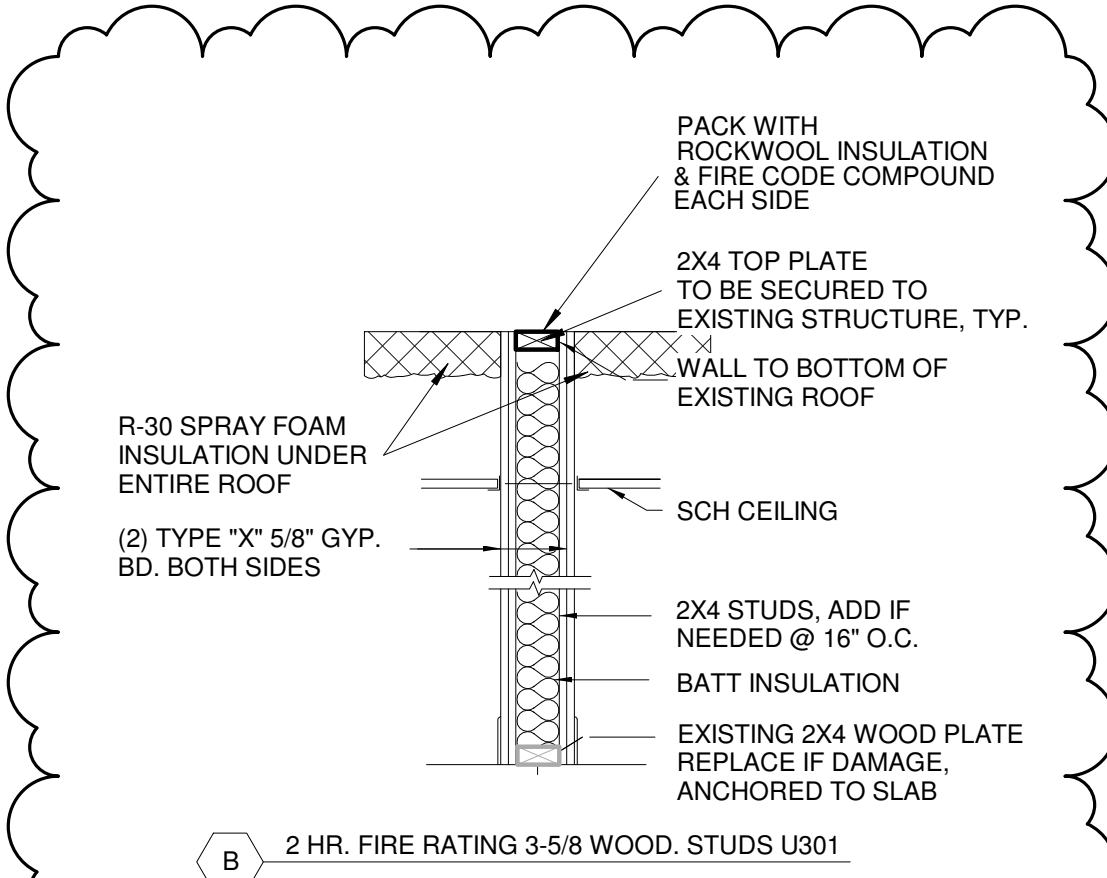
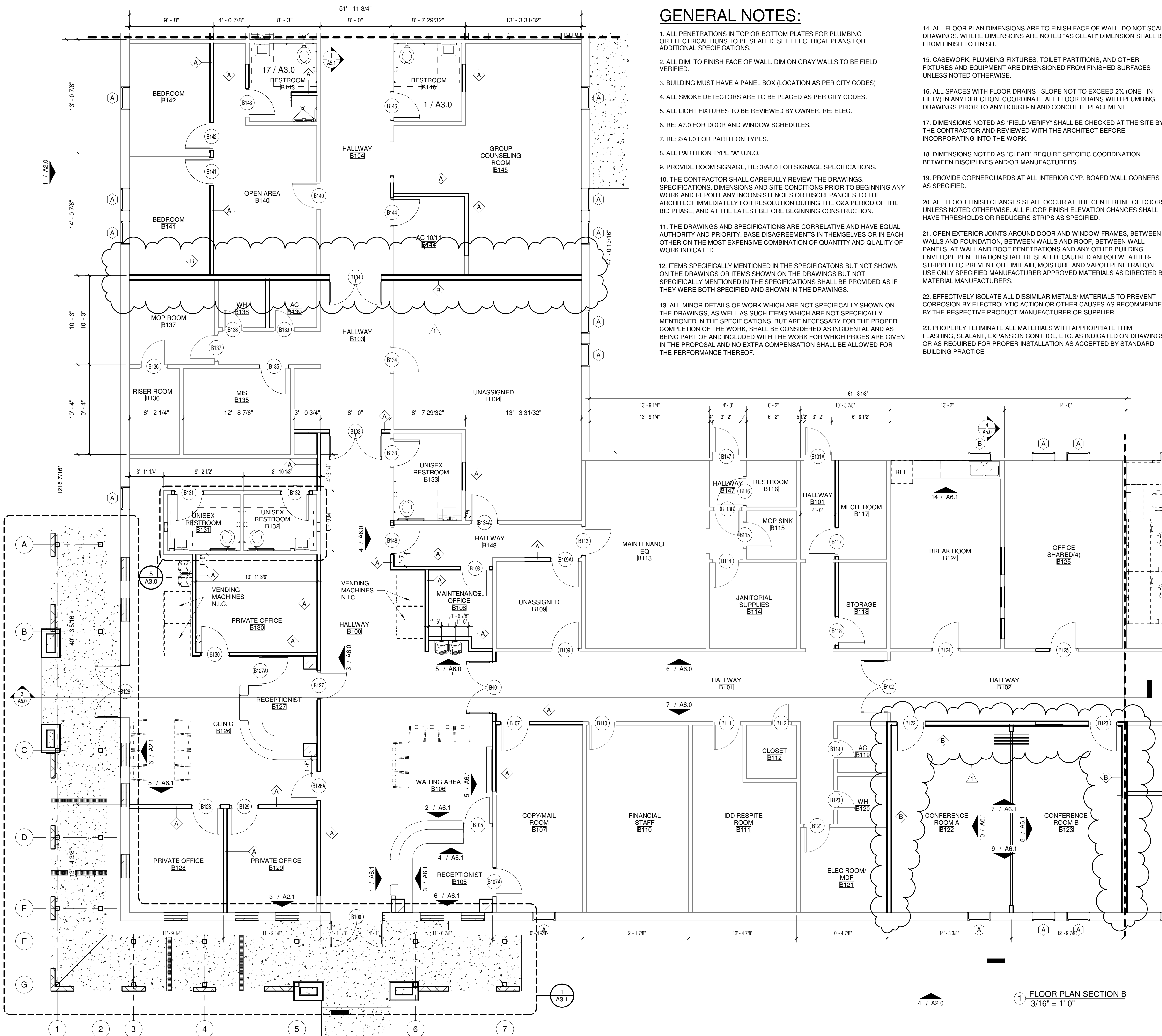


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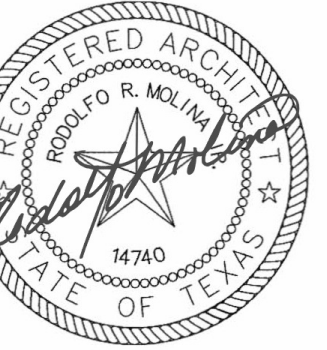
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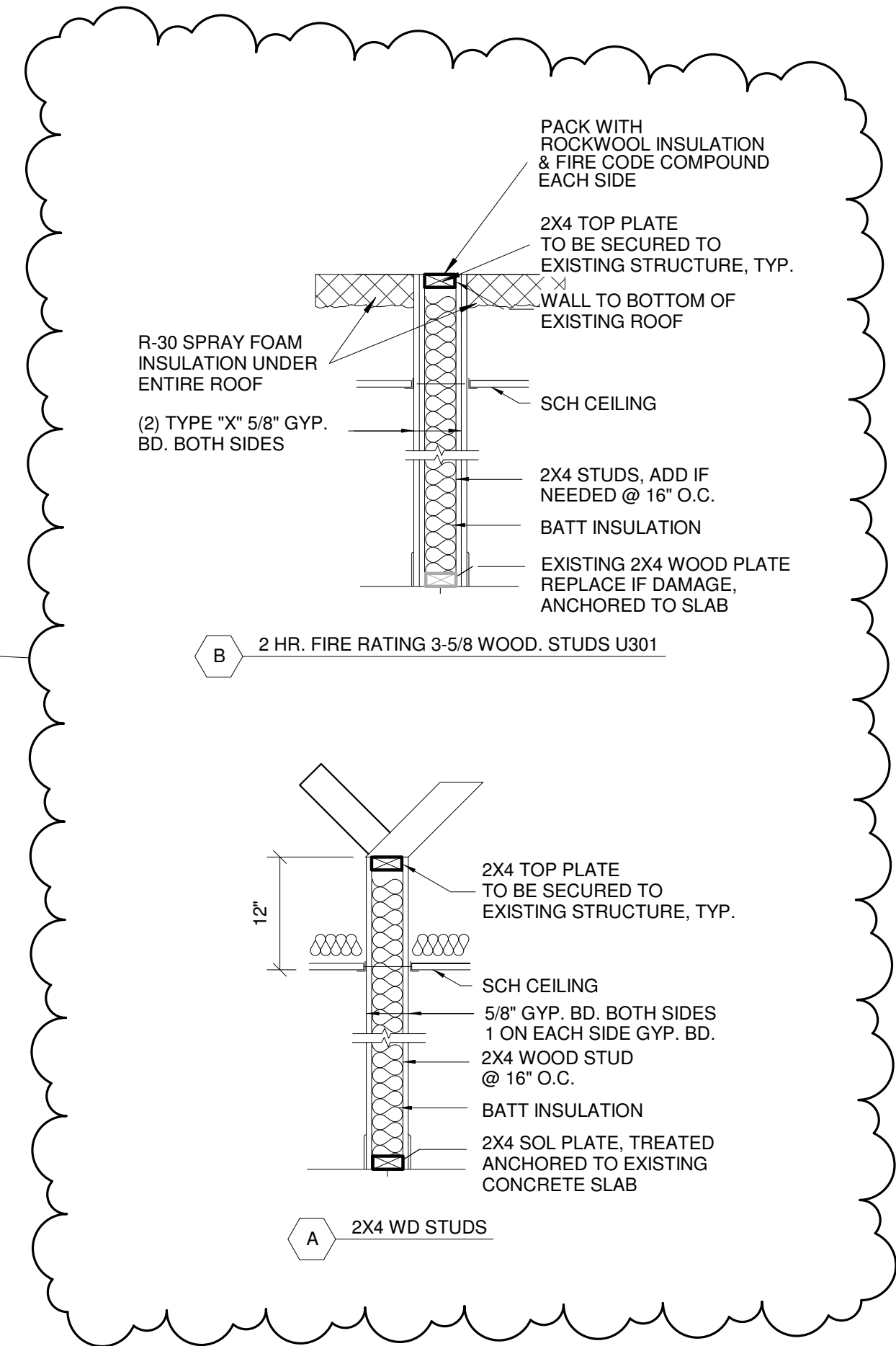
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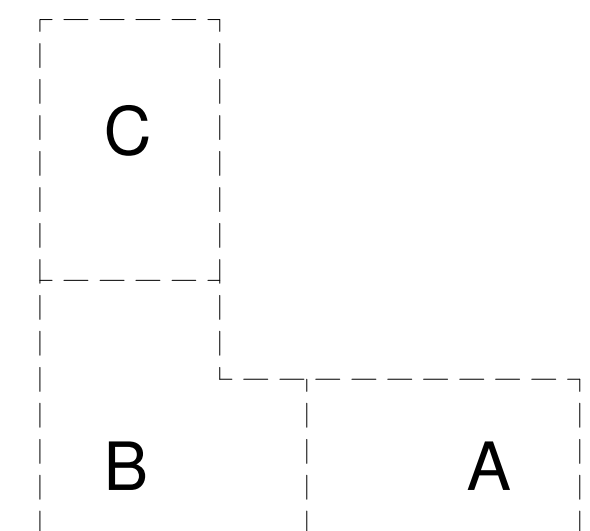
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- ALL FLOOR FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE. ALL FLOOR FINISH ELEVATION CHANGES SHALL HAVE THRESHOLDS OR REDUCERS STRIPS AS SPECIFIED.
- OPEN EXTERIOR JOINTS AROUND DOOR AND WINDOW FRAMES, BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS, AT WALL AND ROOF PENETRATIONS AND ANY OTHER BUILDING ENVELOPE PENETRATION SHALL BE SEALED, CAULKED AND/OR WEATHER-STRIPPED TO PREVENT OR LIMIT AIR, MOISTURE AND VAPOR PENETRATION. USE ONLY SPECIFIED MANUFACTURER APPROVED MATERIALS AS DIRECTED BY MATERIAL MANUFACTURERS.
- EFFECTIVELY ISOLATE ALL DISSIMILAR METALS/ MATERIALS TO PREVENT CORROSION BY ELECTROLYTIC ACTION OR OTHER CAUSES AS RECOMMENDED BY THE RESPECTIVE PRODUCT MANUFACTURER OR SUPPLIER.
- PROPERLY TERMINATE ALL MATERIALS WITH APPROPRIATE TRIM, FLASHING, SEALANT, EXPANSION CONTROL, ETC. AS INDICATED ON DRAWINGS OR AS REQUIRED FOR PROPER INSTALLATION AS ACCEPTED BY STANDARD BUILDING PRACTICE.

- COORDINATE AND PROVIDE APPROPRIATE BLOCKING IN WALLS AS REQUIRED TO SECURE ALL EQUIPMENT, HANDRAILS, CASEWORK, ETC. AS REQUIRED. WOOD BLOCKING SHALL MEET CODE REQUIREMENTS.
- SINGLE USER TOILET ROOMS MAY BE CONFIGURED IN ACCORDANCE WITH TECHNICAL MEMORANDUM TM 03-02 ISSUED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS, ARCHITECTURAL BARRIERS DIVISION ALLOWING THE DOOR SWING TO ENCR OACH INTO THE 5 FOOT DIAMETER TURNING CIRCLE SPACE SO LONG AS A CLEAR FLOOR SPACE OF 30" X 48" IS PROVIDED.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR CEILING TYPES AND HEIGHTS. COORDINATE ALL LIGHT FIXTURES, MECHANICAL DIFFUSERS, NOTIFICATION DEVICES, ETC. WITH MEP DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.
- COORDINATE HOUSEKEEPING PAD DIMENSIONS AND LOCATIONS WITH EQUIPMENT TO BE INSTALLED. ALL HOUSEKEEPING PADS SHALL BE A MINIMUM OF 4" TALL REIN. W/ #3 BARS AT 15" O.C.B.W. AND PROVIDE 1" (45- DEGREE) CHAMFERED EDGES UNLESS NOTED OTHERWISE.
- ALL INTERIOR DOORS IN STUD WALL ASSEMBLIES SHALL BE SET A MINIMUM OF 4" OFF THE PERPENDICULAR ADJACENT WALL ON THE HINGE SIDE OF THE DOOR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS FOR RESOLUTION.
- SET ALL EXTERIOR DOOR THRESHOLDS IN FULL BED OF MANUFACTURER APPROVED SEALANT IN ACCORDANCE WITH MANUFACTURER INSTALLATION INSTRUCTIONS.
- REFER A3.0 AND A8.0 SHEET FOR MOUNTING HEIGHTS OF FIXTURES AND EQUIPMENT AS SCHEDULED. REFER TO THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS, ARCHITECTURAL BARRIERS DIVISION TEXAS ACCESSIBILITY STANDARDS FOR ALL MOUNTING HEIGHTS NOT LISTED AND FOR FURTHER CLARIFICATION AS NEEDED.

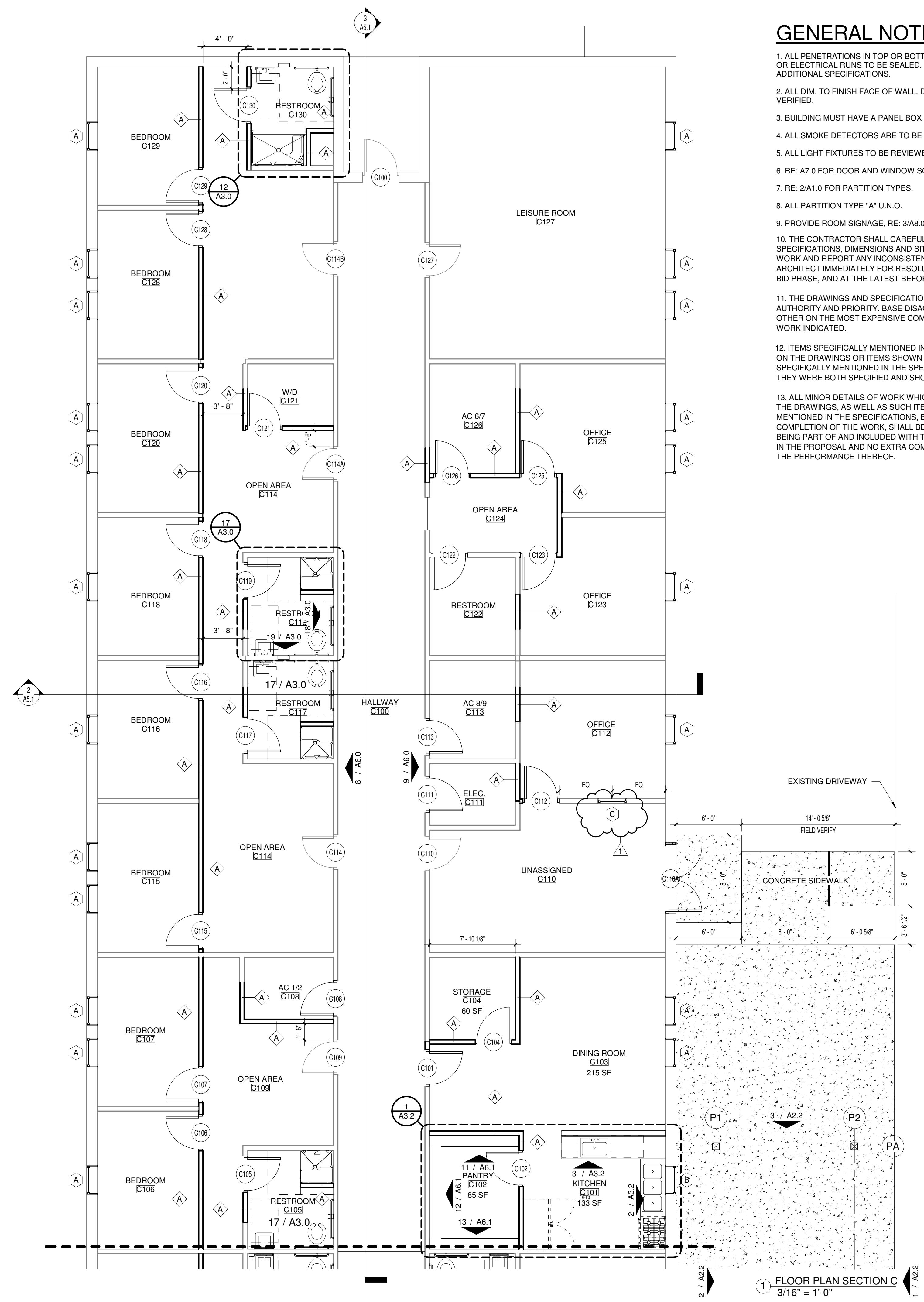
BUILDING GROSS AREA  
EXISTING BUILDING: 22,000 SQ. FT.  
TOTAL (BASE BID): 22,000 SQ. FT.



PARTITION TYPES  
3/4" = 1'-0"



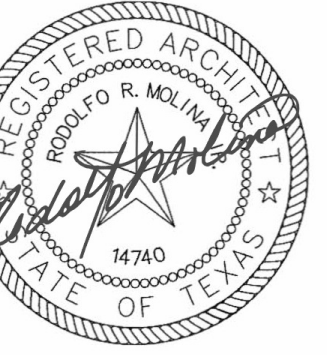
1 FLOOR PLAN SECTION C  
3/16" = 1'-0"





MLNET  
ARCHITECTURAL  
SERVICES

AMERICAN INSTITUTE OF ARCHITECTS



HOP VILLA RENOVATIONS  
TROPICAL TEXAS BEHAVIORAL HEALTH  
HARLINGEN, TX

PROJECT NUMBER  
217027

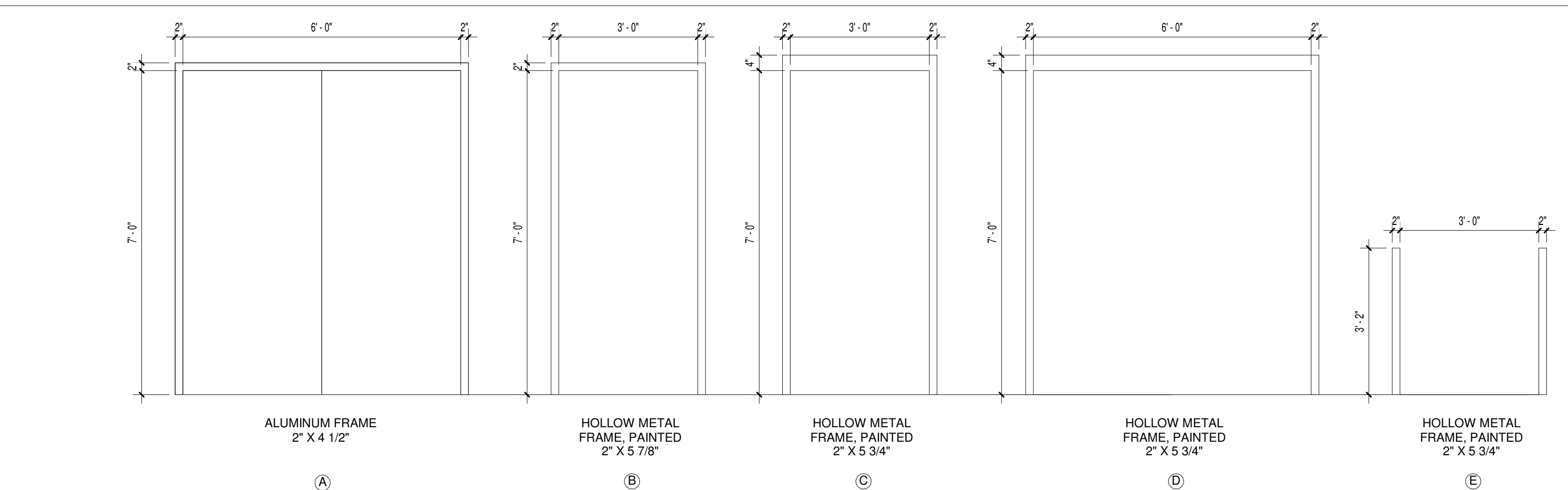
DATE  
AUGUST 20, 2018

ISSUE FOR SEALED  
PROPOSALS

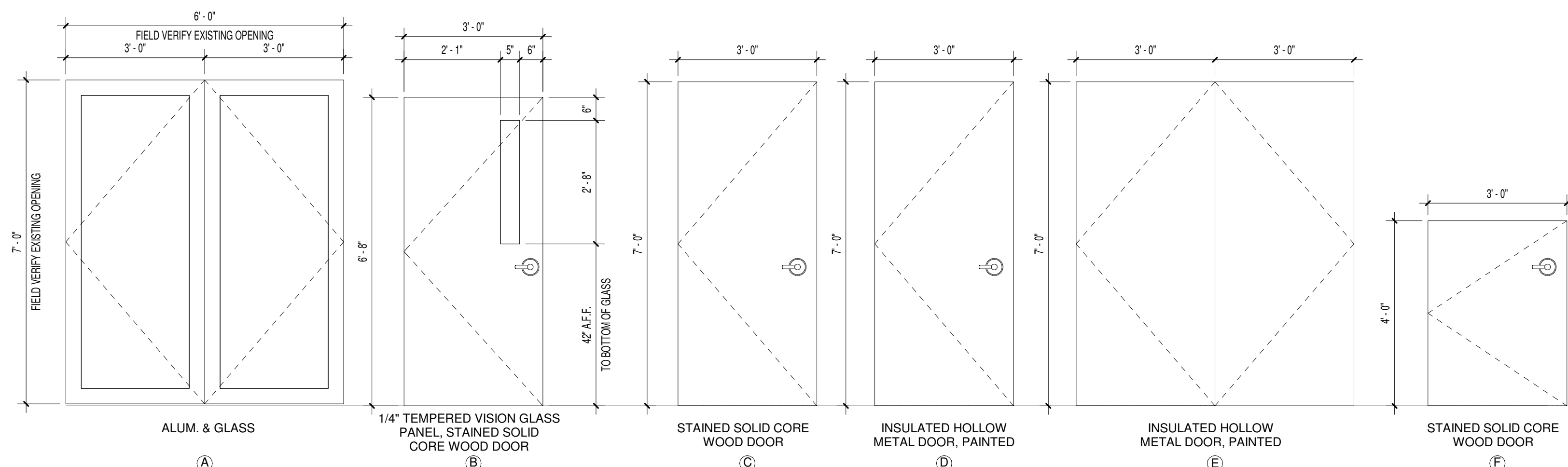
ADDENDUM 1  
AUGUST 31, 2018

SHEET NUMBER

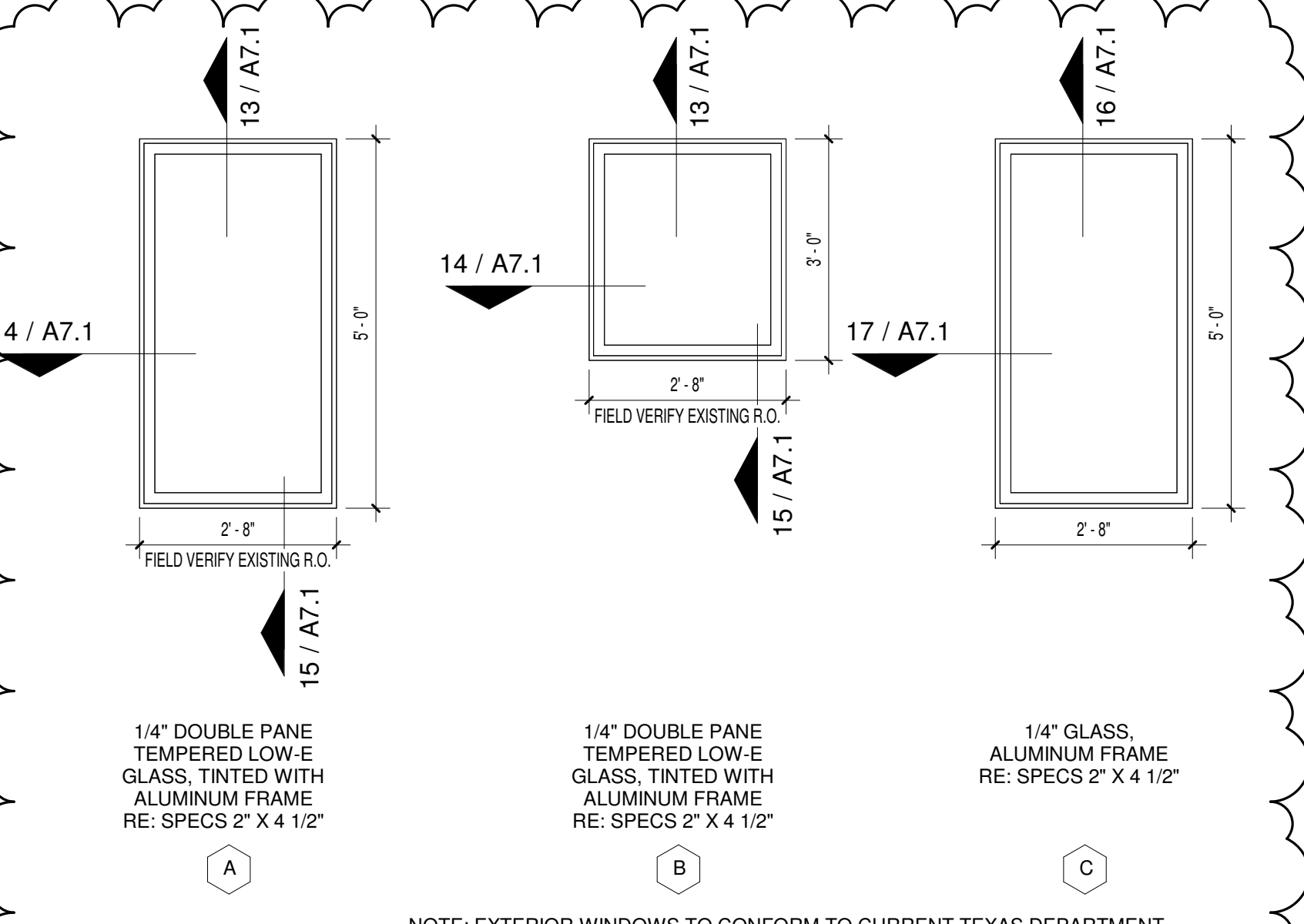
A7.1



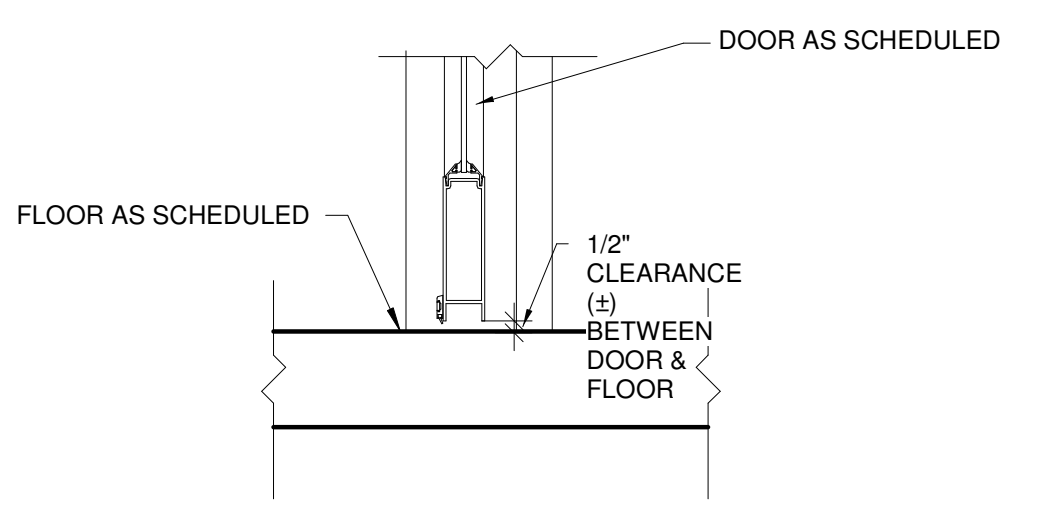
**FRAME TYPES**  
1/2" = 1'-0"  
NOTE: EXTERIOR DOORS TO CONFORM TO CURRENT TEXAS DEPARTMENT OF INSURANCE GUIDELINES. THESE ARE TO COMPLY WITH WINDSTORM INLAND I REQUIREMENTS



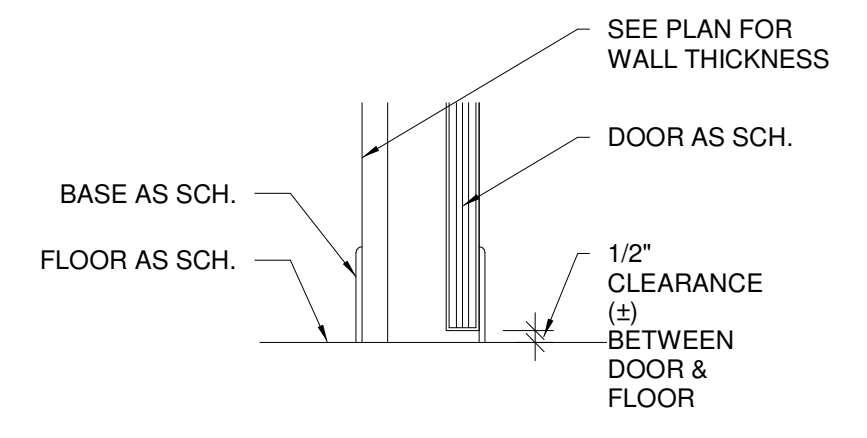
**DOOR TYPES**  
1/2" = 1'-0"



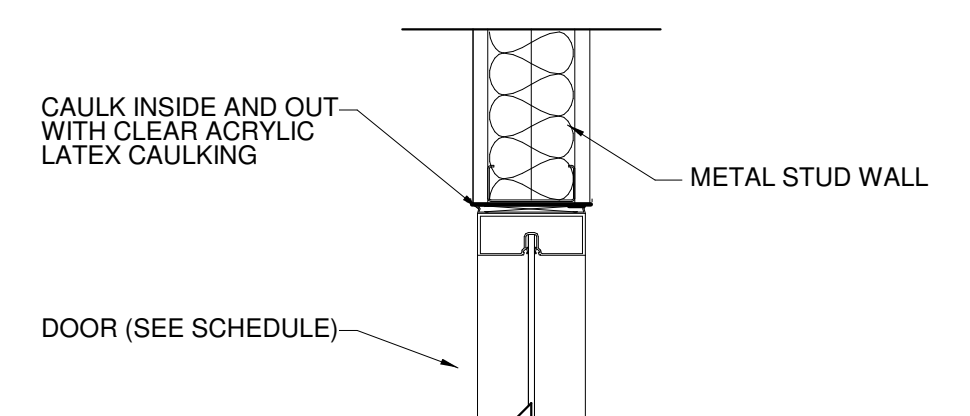
**WINDOW TYPES**  
1/2" = 1'-0"  
NOTE: EXTERIOR WINDOWS TO CONFORM TO CURRENT TEXAS DEPARTMENT OF INSURANCE GUIDELINES. THESE ARE TO COMPLY WITH WINDSTORM INLAND I REQUIREMENTS



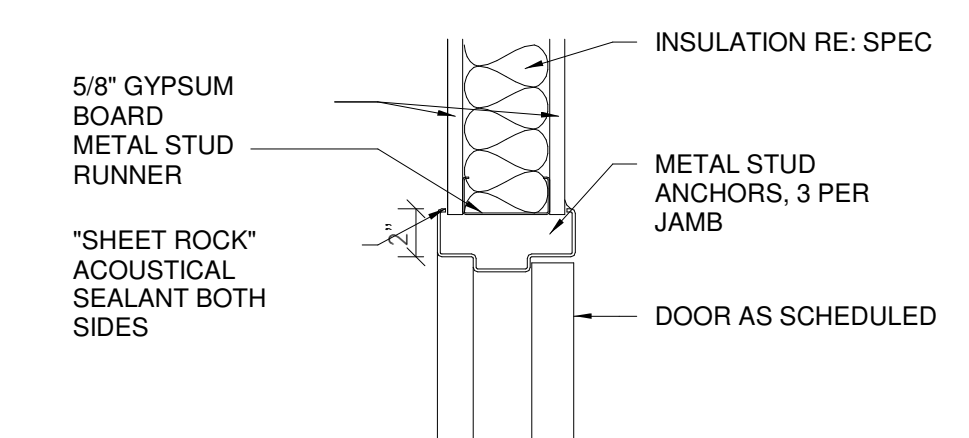
**12 DOOR SILL DETAIL**  
1 1/2" = 1'-0"



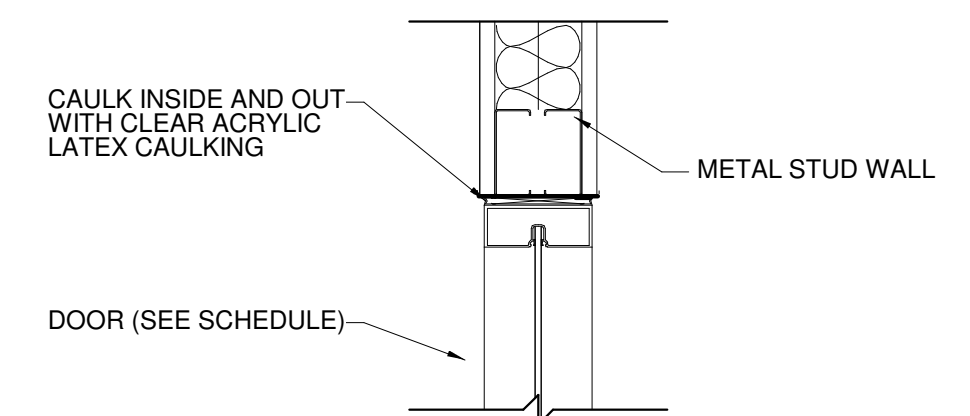
**6 DOOR SILL DETAIL**  
1 1/2" = 1'-0"



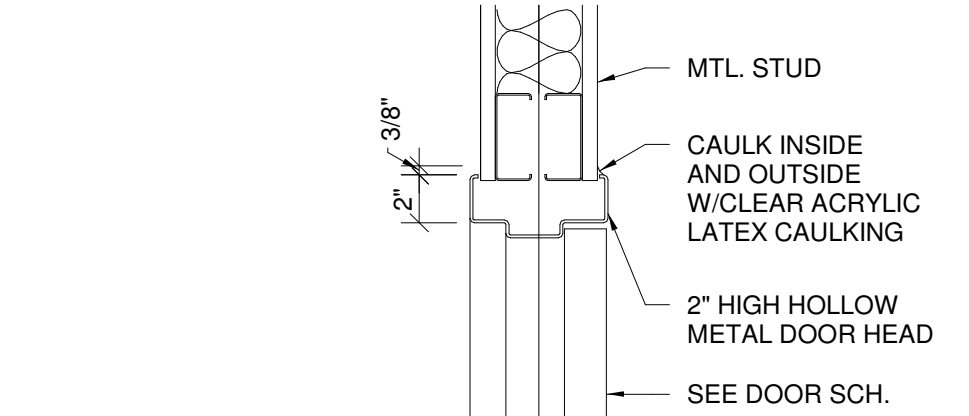
**11 DOOR JAMB DETAIL**  
1 1/2" = 1'-0"



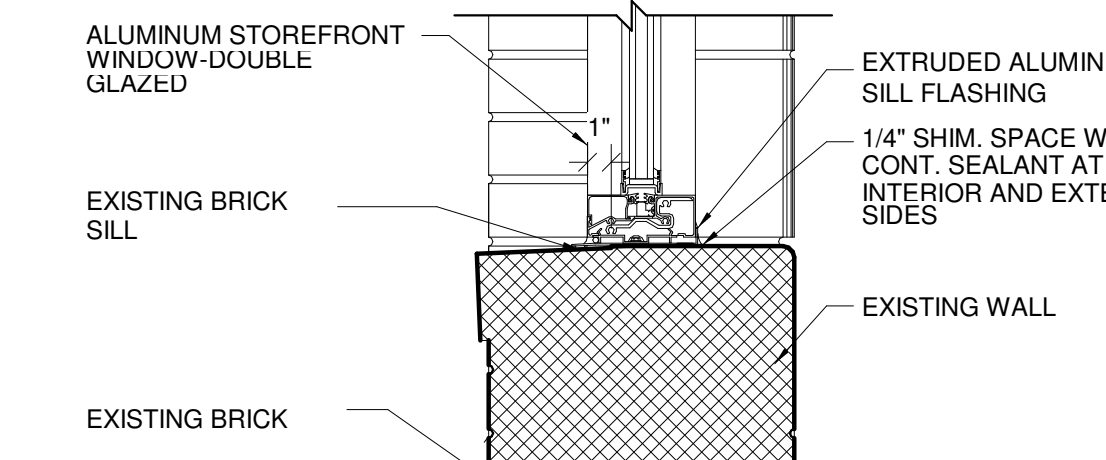
**5 DOOR JAMB DETAIL**  
1 1/2" = 1'-0"



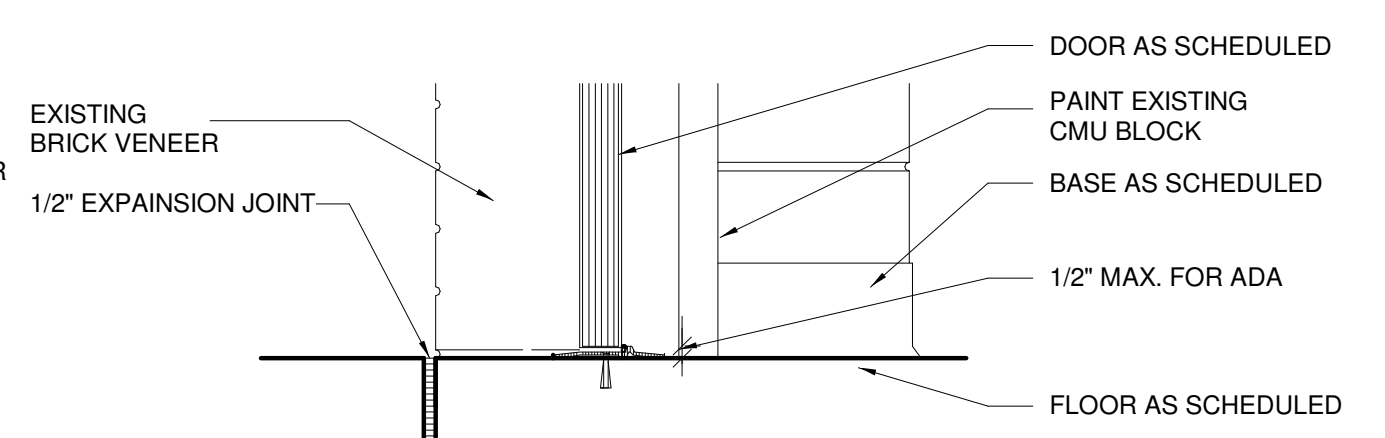
**10 DOOR HEAD DETAIL**  
1 1/2" = 1'-0"



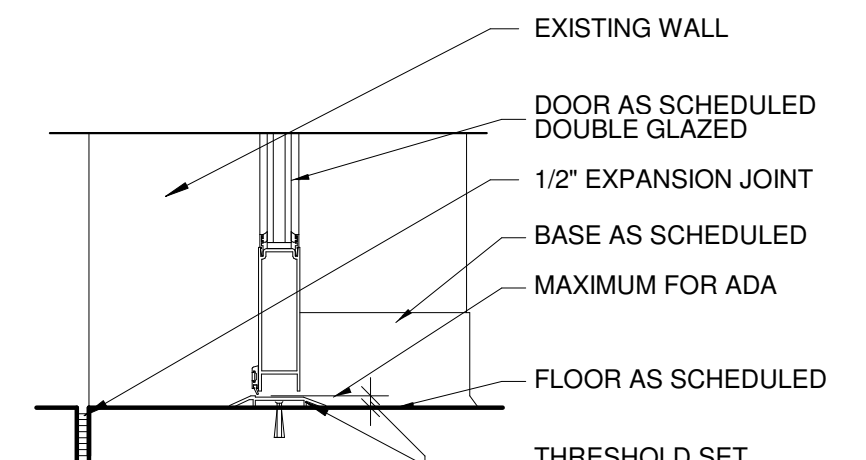
**4 DOOR HEAD DETAIL**  
1 1/2" = 1'-0"



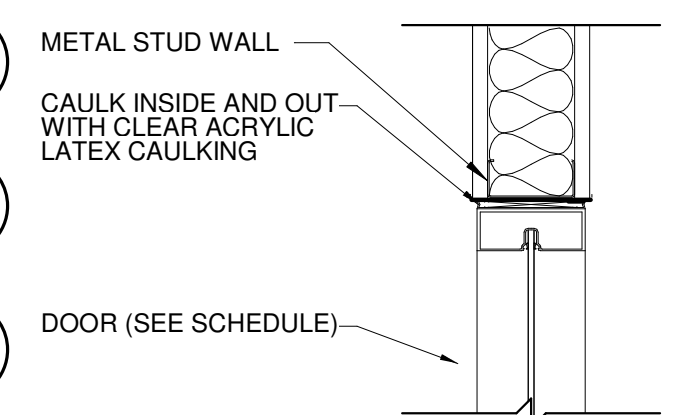
**15 WINDOW SILL DETAIL**  
1 1/2" = 1'-0"



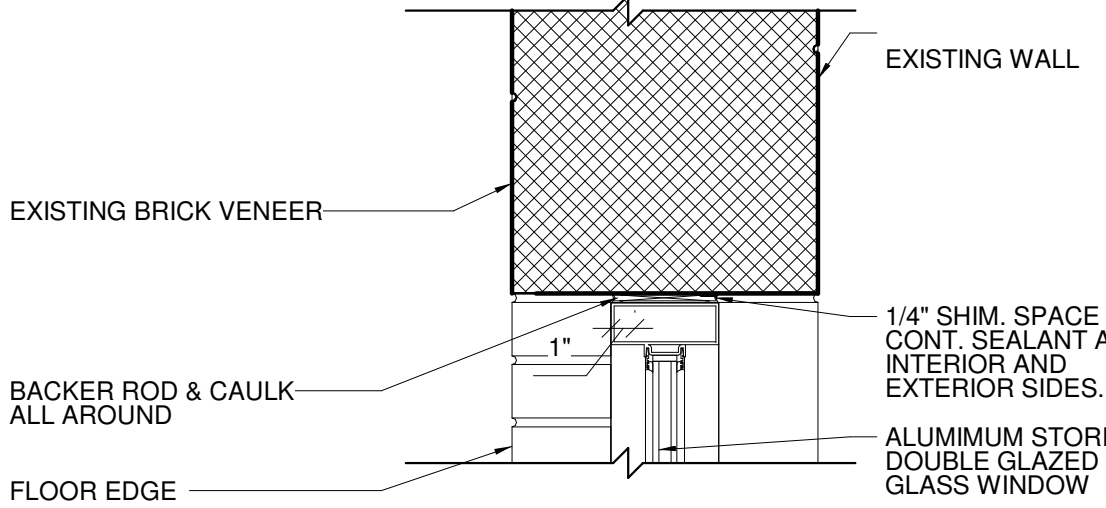
**9 DOOR SILL DETAIL**  
1 1/2" = 1'-0"



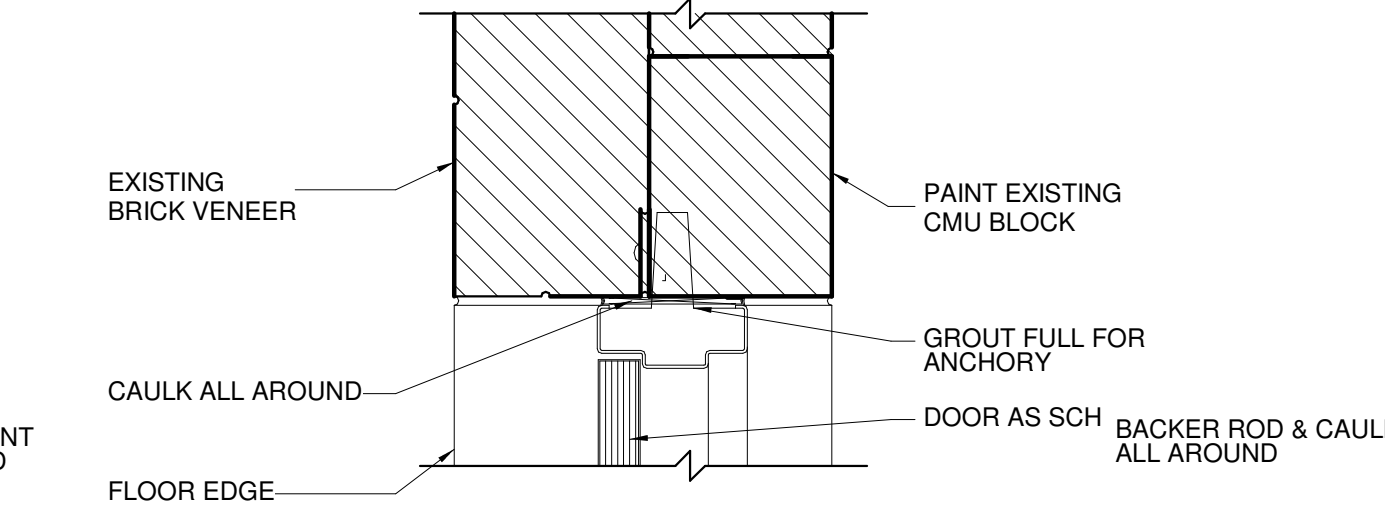
**3 DOOR SILL DETAIL**  
1 1/2" = 1'-0"



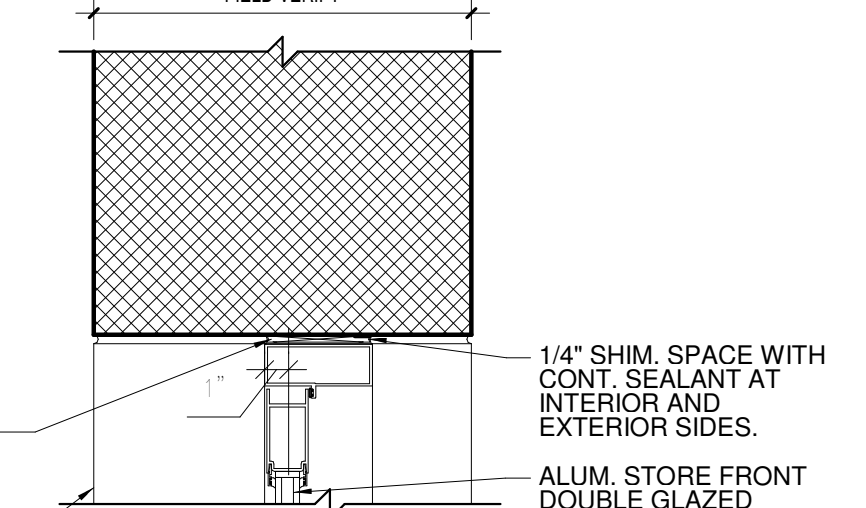
**17 INT. DOOR/WINDOW JAMB DETAIL**  
1 1/2" = 1'-0"



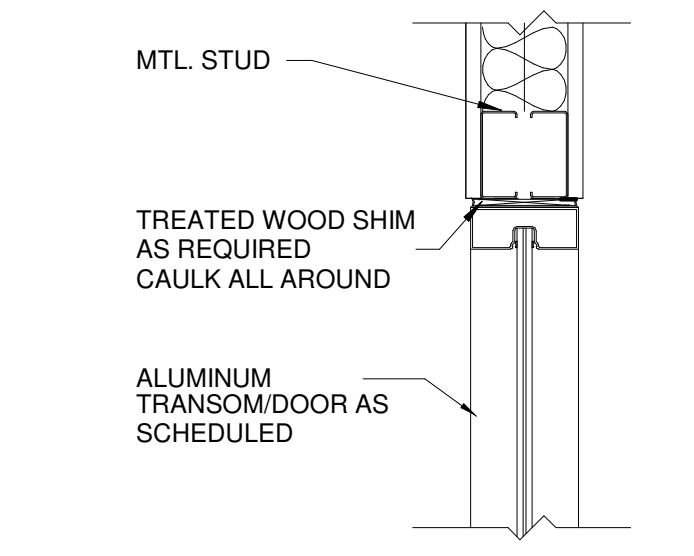
**14 WINDOW JAMB DETAIL**  
1 1/2" = 1'-0"



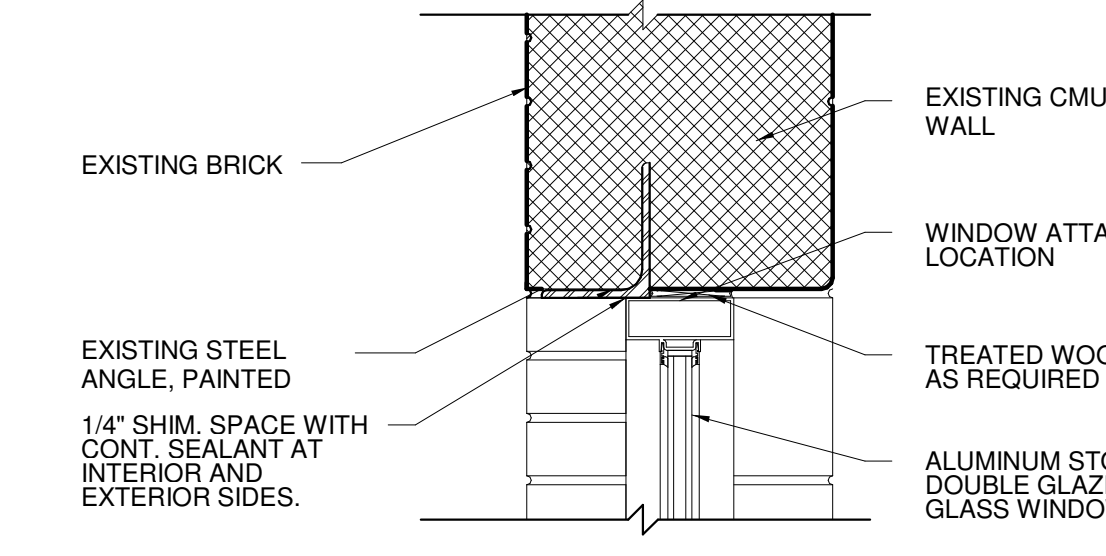
**8 DOOR JAMB DETAIL**  
1 1/2" = 1'-0"



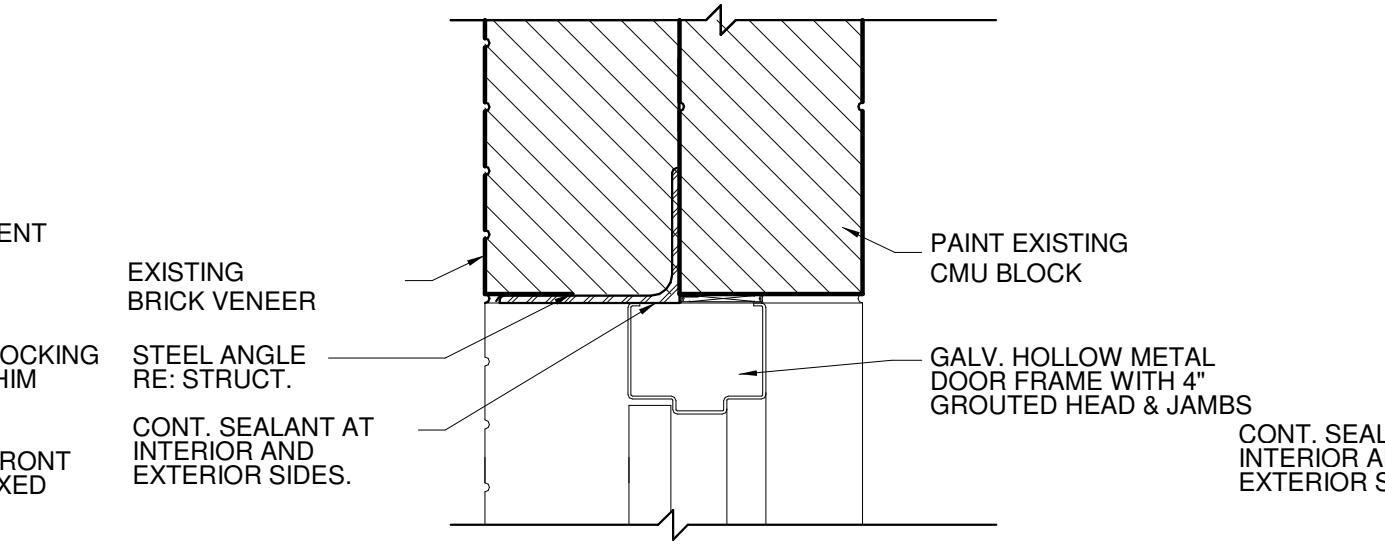
**2 DOOR JAMB DETAIL**  
1 1/2" = 1'-0"



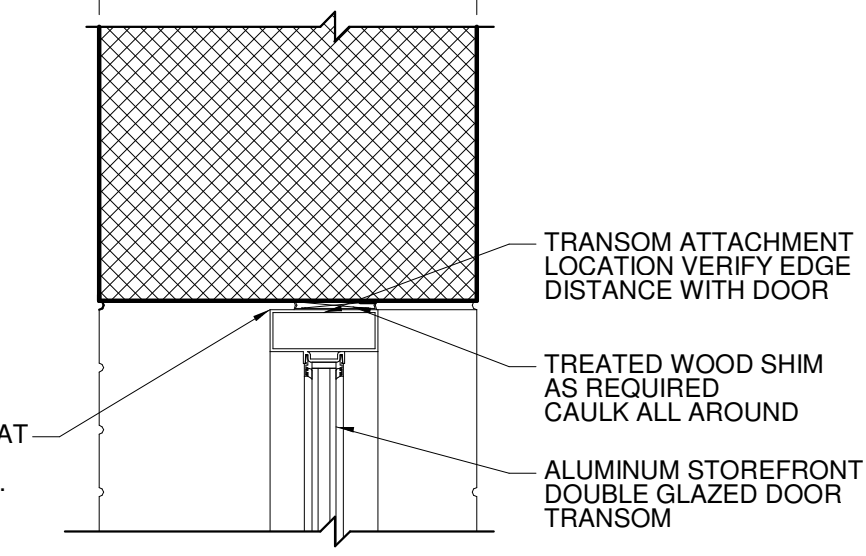
**16 INT. DOOR/WIND HEAD DETAIL**  
1 1/2" = 1'-0"



**13 WINDOW HEAD DETAIL**  
1 1/2" = 1'-0"



**7 DOOR HEAD DETAIL**  
1 1/2" = 1'-0"



**1 DOOR HEAD DETAIL**  
1 1/2" = 1'-0"

## SECTION 12 36 40

### STONE COUNTERTOP

#### PART 1 GENERAL

##### 1.1 SUMMARY

- A. Section Includes:
  - 1. Granite Countertops
  - 2. Granite Splashes
  - 3. Granite Wall Claddings

##### 1.2 REFERENCES

- A. ASTM: American Society for Testing and Materials International
- B. AWI: Architectural Woodwork Institute
- C. AWMAC: Architectural Woodwork Manufacturers' Association of Canada.
- D. MIA: Marble Institute of America
- E. NBGQA: National Building Granite Quarries Association, Inc.
- F. WI: Woodwork Institute (Formerly: WIC - Woodwork Institute of California)

##### 1.3 SUBMITTALS

- A. Product Data: Provide data on stone units.
- B. Shop Drawings:
  - 1. Indicate facing layout and sizes.
  - 2. Indicate counter top dimensions and installation methods.
- C. Samples for Initial Selection:
  - 1. Stone Samples: Submit two stone samples **6 by 6 inch (15.0 by 15.0 cm)** in size, illustrating color range and texture, markings, and surface finish for each stone product and color required.
  - 2. Sealant Samples: Manufacturer's color chart indicating full range of standard sealant colors.
- D. Samples for Verification: Submit two stone samples **6 by 6 inch (15.0 by 15.0 cm)** in size, illustrating color range and texture, markings, and surface finish for each stone product [**and each color of sealant**] required[. **Apply one, 6 inches (15.0 cm) long by 1/8 inch (0.30 cm) wide bead of sealant between stone samples for each color of sealant and each color of stone required**].
  - 1. Provide an electronic digital image of slab in sufficient resolution and detail to evaluate color and quality of stone.



- E. Qualification Statements:
  - 1. Fabricator's qualification statement.
  - 2. Installer's qualification statement.
- F. Operation and Maintenance Data: Indicate list of approved cleaning materials and procedures required; list of substances that are harmful to the component materials.
- G. Maintenance Materials: Sealer, **2 gallon (8.0 litre)**.

#### 1.4 QUALITY ASSURANCE

- A. Mockup: Construct mockup as indicated on drawings [ **and coordinate with mockup requirements of Section**] [06 20 00 Finish Carpentry] [06 22 00 Millwork] [06 40 00 Architectural Woodwork] [06 41 00 Architectural Wood Casework].

### PART 2 PRODUCTS

#### 2.1 STONE SOURCE

- A. Texas Granite Corporation Quarry
  - 1. Address: 3571 Ranch Rd 965, Fredericksburg, TX 78624
  - 2. Phone: (830) 997-6753
- B. Substitutions to be submitted.

#### 2.2 APPROVED FABRICATORS

- A. Rio Stone Products, Inc
  - 1. Address: 2520 Beech Ave, McAllen, TX 78501
  - 2. Phone: 956-631-0513
- B. River Valley Millworks
  - 1. Address: 2124 Highway 35 Bypass, Aransas Pass, TX 78336
  - 2. Phone: 956-533-1492
- C. Astro Marble Products
  - 1. Address: 900 E. Beech Ave, McAllen, TX 78501
  - 2. Phone: 956-682-1841

#### 2.3 STONE MATERIALS

- A. Granite: ASTM C615; type, color, and surface texture as **approved by architect**
  - 1. Species: Selected by Owner
  - 2. Grade: Architectural

## 2.4 COMPONENTS

- A. Granite Countertops:
  - 1. Dimensions: **As indicated on drawings.**
    - a. Thickness: **3/4 inch (2.0 cm)**
    - b. Width: **24 inches (60.0 cm)**
  - 2. Standard Edge Detail:
    - a. **Full bullnose**
- B. Granite **Backsplashes and End Splashes:**
  - 1. Dimensions: **As indicated on drawings.**
    - a. Thickness: **3/8 inch (1.0 cm)**
    - b. Height: **4 inches (10.0 cm)**

## 2.5 FABRICATION

- A. General:
  - 1. Comply with the requirements of the following reference standards:
    - a. NBGQA's "Standard Specifications for Architectural Granite."
    - b. Marble Institute of America's "Dimension Stone Design Manual."
  - 2. Cut edges, corners, intersections, openings square, true, and straight unless otherwise indicated.
- B. Layout:
  - 1. Field verify dimension before fabricating components.
  - 2. Layout work to minimize the number of seams.
  - 3. Align seams with joints in **cabinets and casework.**
  - 4. Do not locate seams at large openings, such as sinks.
- C. Counter:
  - 1. Sink Mount: **Top-mount.**
  - 2. Cutouts: Coordinate size and location with other trades and comply with sink manufacturer's product specifications.
    - a. Accurately locate and size cutouts.
    - b. Polish edges of cutouts.
  - 3. Corners Condition: **Mitered seam through bullnose edge detail**
- D. Splashes:
  - 1. Provide separate from countertops for field installation.
  - 2. Corners Condition: **Mitered**
- E. Wall Claddings:

- F. Seams:
  - 1. Bonded Seams: **Epoxy Resin.**
  - 2. Sealant Filled Seams: **As specified in Division 07 Section titled, "Joint Sealants."**
- G. Edge Condition: **Routed Edges:**
  - 1. Hand grind to create a sharp line of reprise.
- H. Finish:
  - 1. **Polished finish.**

## 2.6 MISCELLANEOUS MATERIALS

- A. Adhesive: DuPont™ Silicone Adhesive.
- B. Sealant: Manufacturer's recommended sealant.
  - 1. Color: **As required to match Architect's approved sample**

## 2.7 ACCESSORIES

- A. Attachments: Stainless steel.
- B. Fixture Mountings: Stainless steel, suitable for **top** mounting and countertop construction.

# PART 3 EXECUTION

## 3.1 INSTALLATION

- A. General:
  - 1. Install items specified in this section according to countertop manufacturer's instructions and in compliance with the installation requirements of the following referenced standards:
    - a. MIA's "Dimension Stone Design Manual" Chapters 13 & 17.
    - b. NBGQA's "Standard Specifications for Architectural Granite"
    - c. Architectural Woodwork Standards, Section 11, Subparagraph 6.2.5 for installation of epoxy resin, natural/manufactured stone as published by AWI, WI, and AWMAC.
  - 2. Do not field cut stone unless otherwise indicated.
  - 3. "Dry assemble" pieces to verify fit before applying adhesives.
  - 4. Shim pieces as required to produce surfaces that are plumb, level, flush, aligned, and true.
  - 5. Apply adhesives only after final adjustments and corrections to fit have been made.
  - 6. **Apply adhesive to seams and draw panels tight**
- B. Loose Splashes.



1. Mask seams to prevent adhesive from smearing.
  2. Install splash units to countertop and wall surface with adhesive.
  3. Align seams between splash units and countertop panels.
  4. Join splash units in same fashion as countertop panels.
- C. Sealant: Apply sealant **around fixtures and appliances set into panels and seams between granite units.**

### 3.2 CLEANING

- A. Clean according to manufacturer's instructions, but not less than the following:
1. Wash with clean, water suitable for drinking and neutral (pH 7), soapless cleaner approved by countertop manufacturer.
  2. Leave no streaks, smears, or stains.

### 3.3 PROTECTION

- A. Repair scratches and scars according to manufacturer's instructions.
- B. Provide protection according to countertop manufacturer's instructions, but not less than the following:
1. Sealer: Apply according to sealer manufacturers instructions.
  2. Protective Covering: Cover granite surfaces with nonstaining kraft paper, clean fabric tarp, or 6 mil plastic film.
    - a. Remove protective covering at **Substantial** Completion.

**END OF SECTION**